

LE SUEUR COUNTY BOARD OF ADJUSTMENT

MEETING AGENDA

Meeting Date: January 8, 2026

Time: 3:00 PM

Place: Le Sueur County Government Center (Historic Courthouse)
88 South Park Ave, Le Center, MN

Onsite Date: January 8, 2026

Onsite Time: 1:00 PM

******Board of Adjustment Members if you CANNOT be at the meeting contact the Environmental Services Department at 357-8538.**

1. Call To Order
2. Agenda: Additions/Corrections/Approval

2.I. 01-08-2026 Agenda

Documents:

[01-08-2026 AGENDA.PDF](#)

3. Meeting Minutes: Additions/Corrections/Approval

3.I. 11-06-2025 DRAFT Minutes

Documents:

[11-06-2025 DRAFT MINUTES.PDF](#)

4. Applications

4.I. CHRISTOPHER & BROOKE MOORE, CLEVELAND, MN (APPLICANT/OWNER)

Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake. The subject property is Lot 10 and part of Lot 9, Beaver Dam Plat of Section 5, Elysian

Township. **VARIANCE IS FOR OHWL SETBACK AND IMPERVIOUS SURFACE. ITEM WAS TABLED FROM NOVEMBER 6, 2025 BOARD OF ADJUSTMENT MEETING**

Documents:

[MOORE PACKET- UPDATED.PDF](#)

- 4.I.i. STEVE & PAULA HAUGDAHL, INVER GROVE HEIGHTS, MN (APPLICANT);
PAULA C HAUGDAHL TRUST, ST. PETER, MN (OWNER)

Request the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a side yard lot line (Southerly) from 50 feet to 33 feet to accommodate a Single-Family Dwelling, and reduce the required setback to a side yard lot line (Easterly) from 50 feet to 20 feet to accommodate a 30' x 50' shed in a Conservancy "C" District. The subject property is in the NW 1/4 of the SW 1/4, Section 23, Kasota Township. **VARIANCE IS FOR SIDE YARD SETBACKS.**

Documents:

[HAUGDAHL PACKET.PDF](#)

- 4.I.i.1. SEAN MCCASLIN, WATERVILLE, MN (APPLICANT); MCCASLIN PROPERTIES LLC, WATERVILLE, MN (OWNER)

Request the County grant a Variance from the Le Sueur County Zoning Ordinance to expand a nonconforming structure to accommodate a 24' x 32' attached garage and a 15' x 20' attached office in a Recreational Commercial "RC" Shoreland District of Lake Sakatah, a Recreational Development "RD" Lake. The subject property is located in Government Lot 4, Section 23, Waterville Township. **VARIANCE IS FOR EXPANDING A NONCONFORMING STRUCTURE.**

Documents:

[MCCASLIN PACKET.PDF](#)

5. Discussion Items
6. Warrants/Claims
7. Adjourn

Board of Adjustment Hearing Procedure: The Chairman calls the meeting to order, then calls the item to be heard and asks the Applicant or representative present to come to the podium to answer any questions or present any comments. The Chairman opens the meeting to the public. Each speaker comes to the podium and states their name for the record prior to making a statement or posing a question. All questions or comments are to be directed **to the board, not the applicant.** After the public comments the Board of Adjustment publicly discusses the information and reviews the findings before making a motion. All meetings are recorded.

AGENDA

LE SUEUR COUNTY BOARD OF ADJUSTMENT

MEETING DATE: JANUARY 8, 2026

TIME: 3:00 PM

PLACE: Le Sueur County Government Center
88 S. Park Avenue, Le Center, MN 56057
1st Floor, County Commissioner's Boardroom

VIRTUAL: Online via Microsoft Teams
Dial in by phone: 1-469-850-4198
Meeting ID: 277 612 319 951 61
Passcode: gE7CW3Nz
Please contact the Department for information on how to attend virtually.

ONSITE DATE: JANUARY 8, 2026

ONSITE TIME: 1:00 PM

****Board of Adjustment Members if you CANNOT be at the meeting or onsite contact the Department at 357-8538****

1. Call to Order
2. Agenda Additions/Corrections/Approval
3. Meeting Minutes **NOVEMBER 6, 2025.** Additions/Corrections/Approval
4. Applications

ITEM #1: CHRISTOPHER & BROOKE MOORE, CLEVELAND, MN (APPLICANT/OWNER):
Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake. The subject property is Lot 10 and part of Lot 9, Beaver Dam Plat of Section 5, Elysian Township. **VARIANCE IS FOR OHWL SETBACK AND IMPERVIOUS SURFACE. ITEM WAS TABLED FROM NOVEMBER 6, 2025 BOARD OF ADJUSTMENT MEETING**

ITEM #2: STEVE & PAULA HAUGDAHL, INVER GROVE HEIGHTS, MN (APPLICANT); PAULA C HAUGDAHL TRUST, ST. PETER, MN (OWNER): Request the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a side yard lot line (Southerly) from 50 feet to 33 feet to accommodate a Single-Family Dwelling, and reduce the required setback to a side yard lot line (Easterly) from 50 feet to 20 feet to accommodate a 30' x 50' shed in a Conservancy "C" District. The subject property is in the NW 1/4 of the SW 1/4, Section 23, Kasota Township. **VARIANCE IS FOR SIDE YARD SETBACKS.**

ITEM #3: SEAN MCCASLIN, WATERVILLE, MN (APPLICANT); MCCASLIN PROPERTIES LLC, WATERVILLE, MN (OWNER): Request the County grant a Variance from the Le Sueur County Zoning Ordinance to expand a nonconforming structure to accommodate a 24' x 32' attached garage and a 15' x 20' attached office in a Recreational Commercial "RC" Shoreland District of Lake Sakatah, a Recreational Development "RD" Lake. The subject property is located in Government Lot 4, Section 23, Waterville Township. **VARIANCE IS FOR EXPANDING A NONCONFORMING STRUCTURE.**

5. Discussion Items
6. Warrants/Claims
7. Adjourn

Board of Adjustment Hearing Procedure: The Chair calls the meeting to order, then calls the item to be heard and asks the Applicant or representative present to come to the podium to answer any questions or present any comments. The Chair opens the meeting to the public. Each speaker comes to the podium and states their name for the record prior to making a statement or posing a question. All questions or comments are to be directed to the Board, not the applicant. After the public comment period is closed, the Board of Adjustment publicly discusses the information and reviews the findings before making a motion. All meetings are recorded.

LE SUEUR COUNTY BOARD OF ADJUSTMENT
88 SOUTH PARK AVENUE
LE CENTER, MINNESOTA 56057
November 6, 2025

MEMBERS PRESENT: Jim Mladek, Jeanne Doheny, Colin Harris, Russel Anderson

MEMBERS ABSENT: John Wolf

OTHERS PRESENT: Michelle Mettler, Brad O'Malley, Trevor Rudenick

1. **Call to Order:** Chairperson Jeanne Doheny called the meeting to order at 3:00 pm.

2. **Agenda:** Additions/Corrections:
Item #1: Change setback distance from 3,800 to 3,776
Item #6: Remove variance requests for septic tank and septic absorption area setbacks, and change the size of proposed shed from 40'x50' to 38'x45'
Item #7: Add Flood Fringe "FF" Floodplain Overlay into request
Item #8: Add in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake.

Motion to approve the agenda with corrections was made by **COLIN HARRIS**.

Second by **RUSSEL ANDERSON**.

MOTION APPROVED. MOTION CARRIED.

3. **Minutes:** **October 2, 2025**, Meeting, Additions/Corrections: NONE.

Motion to approve the minutes was made by **JIM MLADEK**

Second by **RUSSEL ANDERSON**

MOTION APPROVED. MOTION CARRIED.

4. **Applications:**

ITEM #1: EE SOLAR 22, LLC/ENTERPRISE ENERGY, MINNEAPOLIS, MN (APPLICANT); TIM & RUTH VETTER, KASOTA, MN (OWNER): Request the County grant an extension of Variance (#BOA-000239-2024 approved July 18, 2024) from the Le Sueur County Zoning Ordinance to allow the applicant to reduce the required setback between the road Right-Of-Way (ROW) for a Scenic Byway and a Large Solar Energy System from 5,280 feet to 3,776 feet in an Agriculture "A" District. Property is located in the East 1/2 of the NW 1/4, Section 16, Kasota Township. **VARIANCE IS FOR SCENIC BYWAY ROW SETBACK.**

Brad O'Malley presented the PowerPoint presentation.

Evan Carlson was present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. O'Malley read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT:

Mr. Carlson stated that they intended to break ground in the spring with the project. He stated the project was now accepted by the Department of Commerce, and all necessary permits were in place. He stated the project was on high ground and out of view from the scenic byway.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT: NONE

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT: NONE

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

1. *1.) Did the applicant and/or landowner submit the time extension request in writing, and was the request submitted at least thirty (30) days prior to the expiration of the original Variance. (3-1 in support, Member Mladek in dissent)*
 - *Change in schedule for our office- Member Mladek in dissent*
 - *No fault of their own- Chairperson Doheny in support*
2. *Has the applicant established a good faith attempt to complete the work permitted in the Variance. (4-0 in support)*
 - *There was a law change that caused delays- Member Mladek in support*

Motion made by COLIN HARRIS to recommend APPROVAL of the extension for 1 year.

Second by JIM MLADEK

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #2: NEW ENERGY EQUITY LLC, ROSEVILLE, MN (APPLICANT); DANIEL & KAROLYNN HINIKER, KASOTA, MN (OWNER): Request the County grant an extension of Variance (#BOA-000124-2024 approved May 16, 2024) from the Le Sueur County Zoning Ordinance to allow the applicant to reduce the required setback between the road Right-Of-Way (ROW) for a Scenic Byway and a Large Solar Energy System from 5,280 feet to 3,060 feet in an Agriculture "A" District. Property is located in the West 1/2 of the NW 1/4, Section 16, Kasota Township. **VARIANCE IS FOR SCENIC BYWAY ROW SETBACK.**

Brad O'Malley presented the PowerPoint presentation.

Brain Keenan was present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. O'Malley read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT:

Mr. Keenan stated the delays were due to Xcel Energy and the Highway 22 project holding off on final pole placements, which was needed before approval on the interconnection permit.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT:

Member Mladek asked the applicant if they were ready to start the project. Mr. Keenan said that they were.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT: NONE

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

- 1.) *Did the applicant and/or landowner submit the time extension request in writing, and was the request submitted at least thirty (30) days prior to the expiration of the original Variance. (4-0 in support)*
2. *Has the applicant established a good faith attempt to complete the work permitted in the Variance. (4-0 in support)*
 - *Due to other delays- Member Mladek in support*
 - *Extenuating circumstances- Chairperson Doheny in support*

Motion made by COLIN HARRIS to recommend APPROVAL of the extension for 1 year.

Second by RUSSEL ANDERSON

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #3: NEW ENERGY EQUITY, ROSEVILLE, MN (APPLICANT); DANIEL & KAROLYNN HINIKER, KASOTA, MN (OWNER): Request the County grant an extension of Variance (#BOA-000098-2024 approved May 6, 2024 from the Le Sueur County Zoning Ordinance to allow the applicant to reduce the required setback between the road Right-Of-Way (ROW) for a Scenic Byway and a Large Solar Energy System from 5,280 feet to 3,128 feet in an Agriculture "A" District. Property is located in the North 1/2 of the SW 1/4, Section 16, Kasota Township. **VARIANCE IS FOR SCENIC BYWAY ROW SETBACK.**

Brad O'Malley presented the PowerPoint presentation.

Brian Keenan was present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. O'Malley read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT:

Mr. Keenan stated the project is very similar, being on adjacent parcels. The same issues with Xcel and MNDOT occurred.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT:

Member Harris asked if the applicant knew about the Highway 22 project when they started their project. Mr. Keenan stated they had worked with MNDOT and shifted their project west due to that. He stated Xcel would not sign off due to details like pole placement and other factors.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT: NONE

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

1. *1.) Did the applicant and/or landowner submit the time extension request in writing, and was the request submitted at least thirty (30) days prior to the expiration of the original Variance. (4-0 in support)*
2. *Has the applicant established a good faith attempt to complete the work permitted in the Variance. (4-0 in support)*
 - *Delay was due to other circumstances- Member Mladek in support*

Motion made by JIM MLADEK to recommend APPROVAL of the extension for 1 year.

Second by COLIN HARRIS.

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #4: DAVID M JONES, LE SUEUR, MN (APPLICANT/OWNER): Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback between an existing Animal Feedlot to an existing dwelling from 1,000 feet to 63 feet and reduce the required setback between the structure of an Animal Feedlot to a side yard lot line from 100 feet to 25 feet to accommodate a proposed property split & combination. The subject property is part of the W 1/2 of the SE 1/4, Section 25, Ottawa Township. **VARIANCE IS FOR SIDE YARD AND FEEDLOT TO A DWELLING SETBACKS.**

Brad O'Malley presented the PowerPoint presentation.

David Jones and Melissa Edmondson were present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. O'Malley read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT:

Chairperson Doheny commented that a few years ago, this property had a Conditional Use Permit for a Temporary Dwelling. Mr. Jones stated they were apart of the feedlot operation. Mr. Jones stated his dad had purchased the corner property around 1960 to build his house on, and there was no issues at the time. He stated that when a road project occurred in the past, he believed it moved the parcel line farther back in the property. He stated they wanted to fix the property line issue for when they sell it to their nephew.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT:

Chairperson Doheny asked who lived in the house on the lot. Mr. Jones stated it was his dads who had passed away. He stated it was being remodeled and that the Edmondson's would live their after the remodel. Chairperson Doheny asked if the Edmondson's currently participated with the feedlot, and that they were ok with being close to the feedlot. Ms. Edmondson stated that they were for both. Mr. Jones stated that they needed better access to the property as the driveway is technically on the other parcel currently.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT: NONE

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

1. *The request is in harmony with the general purpose and intent of the official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The official controls in the request are the required setback from a feedlot to a dwelling and the required setback from a feedlot to an adjoining property line.*
 - *Feedlot to Dwelling Setback. The setback from a feedlot to a dwelling is to ensure the feedlot operations do not cause a nuisance to neighboring residential properties.*
 - *The feedlot and neighboring dwelling have been coexisting since the 1960's without issue.*
 - *The owners of the neighboring dwelling plan to work on the feedlot and operate it once the current owners are no longer able to.*
 - *Based on the above information, the setback from the dwelling to the feedlot will not negatively impact the feedlot.*
 - *Feedlot to Adjoining Property Line. The setback from a feedlot to an adjoining lot line is to ensure the feedlot operations do not cause a nuisance to neighboring properties*
 - *The feedlot and neighboring dwelling have been coexisting since the 1960's without issue.*
 - *The new lot line that does not meet the required 100-foot setback to the feedlot however is further from the feedlot than the existing lot line.*
 - *Based on the above information, the setback from the feedlot to an adjoining property line will not negatively impact the feedlot.*
 - *Working together and coexisting since the 1960s- Chairperson Doheny in support.*
2. *The request is consistent with the comprehensive plan. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The land use plan lists protecting agriculture land for agriculture resources or uses.*
 - *A feedlot is a listed use in the Agriculture (A) District.*
 - *The request does not involve new construction on the subject property.*
 - *The land use plan lists the location of livestock feedlots and non-feedlot uses too close to one another can cause conflicts.*
 - *The subject feedlot has been coexisting with the dwelling on parcel 10.025.5200 since the 1960s without issue.*
 - *Approval of the variance would not alter the operations of the existing feedlot.*
 - *The landowners of parcel 10.025.5200 intend to assist in operating the feedlot.*
 - *Based on the above information, County staff have determined the request is consistent with the Comprehensive Land Use Plan.*
 - *Maintaining status quo- Chairperson Doheny in support*
3. *The property owner is proposing to use the property in a reasonable manner, not permitted by an official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The applicant is not proposing to alter the existing use of the feedlot.*
 - *The property split/combination requires a variance due to feedlot setbacks.*
 - *Based on the above information, the request is a reasonable use not permitted by an official control.*
 - *Being proactive- Chairperson Doheny in support*
4. *The plight of the landowner is due to circumstances unique to the property, not created by the landowner. (4-0 in support)*
 - *All members adopted proposed finding*
 - *When the feedlot was originally developed, there were not required setbacks for a feedlot to a lot line.*
 - *When the dwelling on the adjacent parcel (10.025.5200) was originally developed, there were not required setbacks to a feedlot.*
 - *The feedlot was deemed a Nonconformity once the Animal Feedlot and Manure Management (Section 16) was adopted by the Le Sueur County Zoning Ordinance in 1996.*
 - *Based on the above information, the plight of the landowner was not created by the landowner.*
 - *Rules changed after feedlot was established- Chairperson Doheny in support*
5. *Whether the variance would alter the essential character of the locality. (4-0 in support)*
 - *All members adopted proposed finding*

- *The subject feedlot has been coexisting with the dwelling on parcel 10.025.5200 since the 1960s without issue.*
 - *The request is to accommodate a property split and combination to adjust the property lines.*
 - *There is no proposed change to the existing feedlot.*
 - *Based on the above information, the request would maintain the essential character of the locality.*
 - *An improvement- Member Harris in support*
6. *Whether the request for the variance involves more than economic considerations. (4-0 in support)*
- *All members adopted proposed finding*
 - *If approved, the feedlot would become conforming.*
 - *If approved, a grain bin on the subject property would meet the required side lot line setback.*
 - *Approval of the variance would not alter the operations of the feedlot.*
 - *Based on the above information, the request does involve more than economic considerations.*

Motion made by JIM MLADEK to recommend APPROVAL of the application with the conditions proposed in the staff report.

Second by COLIN HARRIS

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #5 JOSH & MELISSA EDMONDSON, LE SUEUR, MN (APPLICANT); DAVID JONES, LE SUEUR, MN (OWNER): Request the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback between an existing dwelling and an existing Animal Feedlot from 1,000 feet to 63 feet; and reduce the required setback between a dwelling and side yard lot line from 50 feet to 13 feet; and reduce the required Lot Depth from 300 feet to 217 feet; and reduce the required Lot Area from 1.5 acres to 1.21 acres; and enlarge a nonconforming structure to accommodate a dwelling addition and property split & combination. The subject property is part of the SW 1/4 of the SE 1/4, Section 25, Ottawa Township. **VARIANCE IS FOR ENLARGING A NONCONFORMING STRUCTURE, LOT DEPTH, LOT AREA, SIDE YARD AND DWELLING TO FEEDLOT SETBACKS.**

Brad O'Malley presented the PowerPoint presentation.

David Jones and Melissa Edmondson were present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. O'Malley read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT: NONE

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT:

Chairperson Doheny asked what the septic system for the property was. Mr. Jones stated the septic mound was installed in September. Michelle Mettler clarified that the feedlot property has the mound installed, and the property with the dwelling still needed to be updated. She also clarified that the temporary dwelling had its own holding tank installed.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT:

Chairperson asked the applicant for clarification about the enlargement of the dwelling with the attached garage. Ms. Edmondson stated the current house was small for her family so they wanted to convert the current garage into a living room and add on an attached garage. Chairperson Doheny asked the applicant about reducing the side yard and feedlot to dwelling setbacks, and that the applicant was ok with the proximity. Ms. Edmondson stated she was fine with the proximity and the feedlot smell didn't bother her.

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

1. *The request is in harmony with the general purpose and intent of the official control. (4-0 in support)*
 - *Members Mladek, Harris, and Anderson adopted proposed finding*
 - *The official controls in the request are enlarging a Nonconforming structure, Lot Area, Lot Depth, Side Yard setback, and the setback from a dwelling to a feedlot.*
 - *Feedlot to Dwelling Setback. The setback from a feedlot to a dwelling is to ensure the feedlot operations do not cause a nuisance to neighboring residential properties.*
 - *The feedlot and dwelling have been coexisting since the 1960's without issue.*
 - *The dwelling owners plan to work on the feedlot and operate it once the current owners are no longer able to.*
 - *Based on the above information, the setback from the dwelling to the feedlot will not negatively impact the feedlot.*
 - *Side Yard Setback. The setback from a dwelling to a side yard lot line is related to not infringing on neighboring properties.*
 - *The dwelling is currently closer to the side property line than the requested setback.*
 - *If approved, the new property lines created by the property split and combination will be further from dwelling.*
 - *Based on the above information, the setback to the side property line will not have negative impacts on the feedlot or neighboring properties.*
 - *Expanding a Nonconforming Structure. When Nonconforming Structures are enlarged, a variance is required.*
 - *The subject dwelling became a nonconforming in 1996 when feedlot standards were adopted.*
 - *The dwelling addition will be set back further from the proposed lot line than the existing dwelling is from the current lot line.*
 - *A variance is required to enlarge a Nonconforming structure.*
 - *The proposed dwelling addition meets the required setbacks to the septic system.*
 - *Based on the above information, enlarging the dwelling structure would not negatively impact the feedlot or neighboring properties.*
 - *Lot Area. The requirement for Lot Area is to ensure that a property can meet the required setbacks for a listed use in the applicable Zoning District.*
 - *The subject property is increasing its existing lot area from .72-acres to 1.21-acres.*
 - *The subject property cannot be expanded to meet the lot area requirement without creating or increasing a nonconformity for feedlot or structure setbacks.*
 - *Based on the above information, reducing the required lot area would not negatively impact the feedlot or neighboring properties.*
 - *Lot Depth. The requirement for Lot Depth is to ensure that a property can meet the required Road ROW and Rear Yard lot line setbacks.*
 - *The subject property cannot expand the lot depth without getting closer to the feedlot and creating a nonconforming structure (existing sheds north of parcel).*
 - *The dwelling addition meets the required rear yard setback.*

- *Based on the above information, reducing the required lot depth would not negatively impact the feedlot or neighboring properties.*
 - *Unique circumstances, no surprises with Feedlot to Dwelling distances- Chairperson Doheny in support.*
2. *The request is consistent with the comprehensive plan. (4-0 in support)*
 - *All members adopted proposed findings*
 - *The land use plan lists protecting agriculture land for agriculture resources or uses.*
 - *The land use plan lists the location of livestock feedlots and non-feedlot uses too close to one another can cause conflicts.*
 - *The subject dwelling and feedlot were existing at the time of the adoption of feedlot separation requirement.*
 - *The subject feedlot has been coexisting with the dwelling on parcel 10.025.5200 since the 1960s without issue.*
 - *A dwelling is a permitted use in the Agriculture (A) District.*
 - *The landowners of the subject property intend to operate the feedlot.*
 - *Approval of the variance would not alter the operations of the existing feedlot.*
 - *Based on the above information, the request is consistent with the Comprehensive Land Use Plan.*
 3. *The property owner is proposing to use the property in a reasonable manner, not permitted by an official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The setback to the dwelling will increase with the proposed lot lines.*
 - *A dwelling is a permitted use in the Agriculture (A) District.*
 - *The property split & combination requires a variance for lot area and lot depth.*
 - *The lot area of the subject property will increase from .72-acres to 1.21-acres.*

Based on the above information, the request is a reasonable use not permitted by an official control.
 4. *The plight of the landowner is due to circumstances unique to the property, not created by the landowner. (4-0 in support)*
 - *All members adopted proposed finding*
 - *When the dwelling was originally developed, there were no required setbacks to a feedlot.*
 - *At the time the subject property was split from the parcel 10.025.5100, there were no regulations for lot area, depth, or width.*
 - *Based on the above information, the plight of the landowner was not created by the landowner.*
 - *Rules and regulations changed - Chairperson Doheny in support*
 5. *Whether the variance would alter the essential character of the locality. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The subject dwelling and feedlot have been coexisting since the 1960s without issue.*
 - *The request is to accommodate a property split and combination to adjust the lot lines.*
 - *The dwelling addition is an attached garage. This is an allowed use if not the need for a variance for enlarging a Nonconforming structure and side yard setback.*
 - *The Temporary Dwelling will be removed from the property once the dwelling addition is completed and the landowners move into the dwelling.*
 - *Based on the above information, the request would maintain the essential character of the locality.*
 6. *Whether the request for the variance involves more than economic considerations. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The request is to accommodate a dwelling addition to allow for more storage and use of the existing dwelling.*
 - *The property split and combination will allow the road access to be located on the subject property.*
 - *The request is to improve the existing use of a dwelling.*
 - *Based on the above information, the request does involve more than economic considerations.*

Motion made by JIM MLADEK to recommend APPROVAL of the application with the conditions proposed in the staff report.

Second by COLIN HARRIS.

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #8 CHRISTOPHER & BROOKE MOORE, CLEVELAND, MN (APPLICANT/OWNER): Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake. The subject property is Lot 10 and part of Lot 9, Beaver Dam Plat of Section 5, Elysian Township. **VARIANCE IS FOR OHWL SETBACK AND IMPERVIOUS SURFACE.**

The project was not staked so the item is being continued to the December Board of Adjustment agenda.

Motion made by COLIN HARRIS to recommend Continuation of the application.

Second by RUSSEL ANDERSON.

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #6 KURT & VAL LUKES, GLENVILLE, MN (APPLICANT/OWNER): Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback from a Private Road Right-Of-Way (ROW) from 65 feet to 25 feet; and reduce the required side yard setback from 15 feet to 10 feet to accommodate a 38' x 45' shed in a Recreational Residential "RR" Shoreland District of German Lake, a Recreational Development "RD" Lake. The subject property is located in part of the SW 1/4 of the SE 1/4 of Section 4, Elysian Township. **VARIANCE IS FOR ROAD ROW AND SIDE YARD SETBACKS.**

Trevor Rudenick presented the PowerPoint presentation.

Kurt Lukes was present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. Rudenick read each of the proposed conditions into the record.

Chairperson Doheny asked for clarification for the removal of conditions relating to reducing shed size and drainage towards septic. Mr. Lukes stated after receiving the packet that he perceived those reducing the size and being away from the septic would be a benefit.

INITIAL COMMENTS FROM THE APPLICANT:

Chairperson Doheny asked what the timeline for the project would be. Mr. Lukes stated fall or spring was his plan, but that was weather permitting, and the septic would be on the same timeline. He stated that the project should hopefully be done around June.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT:

Member Harris asked if the applicant had any issue with conditions 5 or 6. The applicant stated he did not and that putting a barrier around the septic would not be a problem, and he did not plan on parking on the septic system.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT:

After the first finding was read, Chairperson Doheny asked if there was any potential that the road would expand. Mr. Lukes stated he didn't think they had any plans. He stated it was recently paved and did not change size, and the road was owned by the landowners in Glens Beach.

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION: NONE

FINDINGS:

1. *The request is in harmony with the general purpose and intent of the official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The official controls in the request are the required setbacks from a Private Road Right-Of-Way, and Side Yard lot line.*
 - *Road ROW Setback: The setback from a road ROW is to ensure safe sight lines and road safety issues.*
 - *The road is a private road which serves as the main road for the Glens Beach Subdivision. Traffic for the road would mainly consist of those that live in and visit the subdivision.*
 - *There is a posted speed limit of 15 miles per hour for this road, and it is a dead end road.*
 - *Based on the above information, the setback from the shed to the road right-of-way will not negatively road safety or sight line.*
 - *Side yard Setback: The setback to a side yard is to ensure minimal impact to neighboring properties.*
 - *There are no structures on the adjacent parcels, however there are similar garages along Glens Beach Road.*
 - *Based on the above information, the setback to the side yard setback would not cause a negative impact to the neighboring property.*
2. *The request is consistent with the comprehensive plan. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The land use plan lists protecting groundwater as one of its objectives. The installation of septic systems that are properly functioning prevents wastewater from impacting groundwater.*
 - *The applicant is proposing to construct a shed on an undeveloped lot, and will be meeting setback distances to both the septic tanks and septic absorption area.*
 - *Based on the above information, the request is consistent with the Comprehensive Land Use Plan.*
3. *The property owner is proposing to use the property in a reasonable manner, not permitted by an official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The land use plan lists protecting groundwater as one of its objectives. The installation of septic systems that are properly functioning prevents wastewater from impacting groundwater.*
 - *The applicant is proposing to construct a shed on an undeveloped lot, and will be meeting setback distances to both the septic tanks and septic absorption area.*
 - *Based on the above information, the request is consistent with the Comprehensive Land Use Plan.*
4. *The plight of the landowner is due to circumstances unique to the property, not created by the landowner. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The land use plan lists protecting groundwater as one of its objectives. The installation of septic systems that are properly functioning prevents wastewater from impacting groundwater.*
 - *The applicant is proposing to construct a shed on an undeveloped lot, and will be meeting setback distances to both the septic tanks and septic absorption area.*
 - *Based on the above information, the request is consistent with the Comprehensive Land Use Plan.*

- *Similar structures along the road- Chairperson Doheny in support*
5. *Whether the variance would alter the essential character of the locality. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The locality is lakeshore residential lots. The applicant is proposing a shed on an undeveloped lot across the road from the primary dwelling.*
 - *Based on the above information, the request would maintain the essential character of the locality.*
 6. *Whether the request for the variance involves more than economic considerations. (4-0 in support)*
 - *All members adopted proposed finding*
 - *If approved, the applicant would be able construct a storage shed, allowing for the winter storage of equipment and vehicles.*
 - *Based on the above information, the request does involve more than economic considerations.*

Motion made by COLIN HARRIS to recommend APPROVAL of the application with the conditions read into record.

Second by RUSSEL ANDERSON.

MOTION APPROVED (4-0). MOTION CARRIED.

ITEM #7 FRANK & CINDY SCHUCHARD, MILLVILLE, MN (APPLICANT); ROY WANGEN, WATERVILLE, MN (OWNER): Request the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the exempted setback to a side yard lot line (South) from 10 feet to 2 feet; and reduce the required setback to the Ordinary High Water Level (OHWL) from 100 feet to 62; and reduce the required setback to a Private Road Right-Of-Way (ROW) from 65 feet to 22 feet; and to increase the maximum allowed Impervious Surface coverage on a lot to 28.5% to accommodate a 52' x 24' single-family dwelling in a Flood Fringe "FF" Floodplain Overlay, Recreational Residential "RR" Shoreland District of Lake Tetonka, a Recreational Development "RD" Lake. The subject property is part of Lot 29 and part of Lot 30, Tetonka Beach Subdivision of Section 24, Elysian Township. **VARIANCE IS FOR SIDE, OHWL, AND ROAD ROW SETBACKS AND IMPERVIOUS SURFACE.**

Trevor Rudenick presented the PowerPoint presentation.

Frank and Cindy Schuchard were present for the applicants.

REVIEW OF PROPOSED CONDITIONS:

Mr. Rudenick read each of the proposed conditions into the record.

There were no questions or objections from the applicant.

INITIAL COMMENTS FROM THE APPLICANT:

Mr. Schuchard stated that the house was flooded, and rather than remodel it due to mold, they were going to take down the current dwelling. He stated they would add block, backfill and lay a slab, and bring in a new structure. Chairperson Doheny asked how far they were going to raise it. Mr. Schuchard stated they would be using three courses of block.

Member Harris asked if the applicant was ok with conditions 5 and 7. Mr. Schuchard stated confusion with condition 5 regarding the landscaping. Mr. Rudenick clarified that there was currently plastic underneath the landscaping, so when it is redone after construction, either fabric or nothing underneath would make it pervious.

INITIAL QUESTIONS FROM THE BOARD OF ADJUSTMENT: NONE

Member Mladek asked if the applicant was starting the project in the fall. Mr. Schuchard stated he planned on starting in the spring. Chairperson Doheny asked what the septic for the property was. Mr. Schuchard stated it was only on a holding tank. Member Mladek asked if it was a cabin or year round structure. Mr. Schuchard stated it was only a cabin at this time.

PUBLIC CORRESPONDENCE: NONE

PUBLIC COMMENTS: NONE

FOLLOW-UP QUESTIONS AND COMMENTS FROM THE BOARD OF ADJUSTMENT: NONE

ADDITIONAL PUBLIC COMMENTS: NONE

BOARD OF ADJUSTMENT DISCUSSION:

Member Mladek asked the applicant if he was aware of what impervious surface was. Mr. Schuchard said he was not completely familiar. Member Mladek replied explaining it and that the 25% limit in shoreland was important and other reductions should be looked at. Mr. Schuchard stated he could remove the front porch to reduce some impervious. Member Mladek stated it was something to be aware of, and that the applicant should work with staff for guidance.

FINDINGS:

1. *The request is in harmony with the general purpose and intent of the official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The official controls in the request are the required setbacks from a Private Road Right-Of-Way (ROW), side yard, and OHWL, and the maximum impervious surface allowed on a lot.*
 - *Road ROW Setback: The setback from a road ROW is to ensure safe sight lines and road safety issues.*
 - *The existing dwelling has not had any reported issues with its current configuration. The proposed porch will only be 4 feet closer than the existing dwelling*
 - *The road is a private road which serves as the main road for the Tetonka Beach Subdivision, and dwellings are situated in similar ways throughout the neighborhood. Traffic for the road would mainly consist of those that live in the subdivision.*
 - *Based on the above information, the setback from the dwelling to the road ROW will not negatively impact road safety or sight line.*
 - *Side yard Setback: The setback to a side yard is to ensure minimal impact to neighboring properties.*
 - *The proposed dwelling will not be any closer than the existing dwelling.*
 - *There are no reported issues for the existing dwelling's proximity to the side yard lot line from the neighboring property.*
 - *Based on the above information, the setback to the side yard setback would not cause a negative impact to the neighboring property.*
 - *OHWL setback: The setback to the OHWL is for the protection of the sensitive feature-the lake.*
 - *The proposed dwelling will not be going any closer to the OHWL than the existing dwelling.*
 - *The proposed dwelling will be outside of the Shore Impact Zone.*
 - *Based on the above information, the setback from the dwelling to the OHWL will not negatively impact the lake.*
 - *Maximum Impervious Surface: The maximum Impervious Surface limit is for the prevention of stormwater runoff into the sensitive feature-the lake*
 - *The applicant is proposing to add an additional 131 square feet of impervious surface with the proposal. This would put the lot at 28.5%. This is a small shoreland lot and there are no applicable means to expand the property.*
 - *There are some potential removals of Impervious Surface to get the lot closer to the allowed 25%. These*

- include landscaping on the property, which totals at 150 square feet on the survey.*
- *Based on the above information, there are potential improvements to the proposal to reduce the amount of Impervious Surface on the lot.*
2. *The request is consistent with the comprehensive plan. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The land use plan lists protecting lake health as one of the goals.*
 - *The applicant is proposing to replace a dwelling due to flood damage. The proposed front porch addition will be on the road side of the dwelling.*
 - *Based on the above information, the request is consistent with the Comprehensive Land Use Plan.*
 - *Proposal will rehabilitate the lot.- Chairperson Doheny in support*
 3. *The property owner is proposing to use the property in a reasonable manner, not permitted by an official control. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The applicant is proposing to replace a flood damaged dwelling.*
 - *The roof slopes away from the side yard so runoff would not impact neighboring properties.*
 - *Based on the above information, the request is a reasonable use not permitted by an official control.*
 4. *The plight of the landowner is due to circumstances unique to the property, not created by the landowner. (4-0 in support)*
 - *All members adopted proposed finding*
 - *When the lots were originally created, ordinance standards for lot size and setbacks were not as restrictive as current ordinance standards.*
 - *There are dwellings on both sides of this parcel, so there is no reasonable means to expand the property.*
 - *There is an existing well on the northwest side of the house which prevents it from moving farther away from the south property line.*
 - *Based on the above information, the plight of the landowner was not created by the landowner.*
 - *An improvement- Chairperson Doheny in support*
 5. *Whether the variance would alter the essential character of the locality. (4-0 in support)*
 - *All members adopted proposed finding*
 - *The locality is lake-frontage residential lots. The applicant is proposing to construct a new dwelling in the same location.*
 - *Based on the above information, the request would maintain the essential character of the locality.*
 6. *Whether the request for the variance involves more than economic considerations. (4-0 in support)*
 - *All members adopted proposed finding*
 - *If approved, the applicant would be able to remove a flood damaged dwelling and construct a new dwelling that meets FEMA standards.*
 - *Based on the above information, the request involves more than economic considerations.*

Motion made by JIM MLADEK to recommend APPROVAL of the application with the conditions proposed in the staff report.

Second by COLIN HARRIS.

MOTION APPROVED (4-0). MOTION CARRIED.

5. **B.O.A. Discussion Items:**

- Comp Plan Update
 - Open House was held on October 30, 2025.
 - Comment period ended November 4th.
 - Consultant will compile input from the public and submit Draft Plan to staff to review.
 - Planning Commission potentially in January
 - County Board potentially in February
- Open Position – Planner 1
 - Interviews are being held
- Next BOA Meeting December 4, 2025 @ 3pm

6. **Warrants/Claim-signatures:**

7. **Adjournment:**

Motion to adjourn meeting by **COLIN HARRIS**.

Second by **RUSSEL ANDERSON**.

MOTION APPROVED (4-0). MOTION CARRIED.

The meeting was adjourned by Chairperson Jeanne Doheny at 5:00 pm.

Respectfully submitted,

Trevor Rudenick

*Recording of the meeting is on file in the
Le Sueur County Environmental Services Office*

VARIANCE STAFF REPORT

GENERAL INFORMATION

MEETING DATE: January 8, 2026

APPLICANT/OWNERS: Christopher & Brooke Moore

911 ADDRESS: 23945 Scotch Lake Road, Cleveland, MN 56017

VARIANCE REQUEST: Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake.

VARIANCE NUMBER: BOA-001006-2025

PARCEL NUMBER: 04.440.0120

SITE INFORMATION

LOCATION: The subject property is Lot 10 and part of Lot 9, Beaver Dam Plat of Section 5, Elysian Township.

ZONING & PURPOSE: Recreational Residential (RR) District

The intent of the **Recreational Residential (RR) District** is to preserve areas which have natural characteristics suitable for both passive and active recreational usage. Also, it is the intent of this district to manage areas suitable for residential development of varying types, including permanent and seasonal housing. Some non-residential uses with minimal impacts on residential uses are allowed if properly managed under conditional use procedures.

GOALS AND POLICIES: The current Land Use Plan, adopted in 2007, makes reference to protection of the ecological systems of the natural environment.

GOAL #2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource areas.

Objective 2: Utilize shorelands on Recreational Development Lakes (RD) for housing, but with a focus on development design that protects the resource.

GENERAL SITE DESCRIPTION:

Platted lake-frontage lot, Nonconforming lot, existing dwelling

ACCESS:

Existing access from Scotch Lake Road

LAKE:

Lake Jefferson, a Recreational Development (RD) Lake

Recreational Development Lake - Lakes that usually have between sixty (60) and two hundred twenty-five (225) acres of water per mile of shoreline, between three (3) and twenty-five (25) dwellings per mile of shoreline and are more than fifteen (15) feet deep.

RFPE:

Regulatory Flood Protection Elevation: 1021.7 Lowest floor must be at or above RFPE.

BACKGROUND INFORMATION

The subject parcel is part of a Subdivision Plat from 1919. County records indicate the subject parcel was developed in 1999 with a Zoning Permit for a 4-bedroom walkout dwelling with an attached garage. The structure met the exempted setback to the OHWL of 69 feet. A Variance was approved in 2003 for a 22' x 26' detached garage with reduced setbacks to the road Right-Of-Way, septic drainfield, and property line. A Variance was approved in 2017 for an updated septic drainfield and tank with reduced setbacks from the detached garage, dwelling, and property line. A Land Alteration Permit was approved in 2022 for reducing the size of the driveway due to drainage issues. An Interim Use Permit to allow for Short Term Private Rental of the property was approved in 2023. The residential lot is considered a nonconforming parcel as it does not meet the required Lot Area, Lot Depth, or Lot Width requirements of the applicable Zoning District. The applicants intend to construct an 16' x 36' in-ground pool and a 348 square foot pool patio around it. If approved, the variance would allow the new structure to be built with reduced setbacks from the OHWL and increase the maximum allowed impervious surface coverage would increase to 36.3%.

ATTACHMENTS

Application, Description of Request, Survey (Existing & Proposed Conditions), LIDAR Map, Building Plans, Aerial Image, & Findings of Fact Form

FINDINGS

Staff findings per Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

- | <u>1. Variance:</u> | <u>Request:</u> | <u>Required:</u> | <u>Ordinance:</u> | <u>Page:</u> |
|----------------------------------|-----------------|------------------|--------------------------------|--------------|
| a. Reduce OHWL Setback: | 55 feet | 100 feet | Section 13.3, Subdiv. 7. D. 1. | 13-53 |
| b. Increase Impervious Coverage: | 36.3% | 25% | Section 13.3, Subdiv. 7. I. 3. | 13-56 |
- The applicant is requesting a variance to install an in-ground pool.
 - The subject parcel is a nonconforming Lot.

CONSIDERATIONS

- The following shall be considered at the hearing:
 - There are special circumstances or conditions affecting the land, structures or use referred to in the Variance.
 - Whether the granting of the application would be a detriment to the public health, safety, and general welfare or injurious to property or improvements in the area adjacent to the property of the applicant/landowner.

2. Additional Considerations:

- The request is to accommodate the construction of an in-ground pool on this parcel.

PRACTICAL DIFFICULTY

The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on non-conformities.

- Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control.
- Variances shall only be permitted when the request is consistent with the comprehensive plan.
- Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control. Practical difficulties as used in connection with a variance means the following:
 - The property owner proposes to use the property in a reasonable manner not permitted by an official control.
 - The plight of the landowner is due to circumstances unique to the property not created by the landowner.
 - The variance, if granted, will not alter the essential character of the locality.
 - Economic considerations alone do not constitute practical difficulties.

ADDITIONAL REVIEW COMMENTS

1. This request was submitted to Holly Bushman, County Water Resources Manager, for review. Ms. Bushman stated the applicant is requesting a variance to reduce the required setback to the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36 x 16 in-ground pool. The proposed pool is located outside of the shore impact zone. Additionally, the applicants are proposing to reduce their impervious surface within the shore impact zone by 662 square feet which accounts for 7.8% out of the 35.9% of the total existing impervious surface on the lot. However, the applicant is still well over the 25% impervious surface on the lot. There are additional ways that the applicant could reduce impervious surface on the lot which would help reduce the total amount of stormwater runoff on the property and protect the lake. The applicant could further reduce their impervious surface by removing the Lake Shed for a total 93 square feet, removing the Shed and Apron for a total of 122 square feet, or reduce their existing driveway.
2. This request was submitted to Trygve Capistrant-Kinney, County Senior Planner, for review. Mr. Capistrant-Kinney stated a Subsurface Sewage Treatment System (SSTS) Compliance Inspection was conducted 9/17/2025. The SSTS is subject to an operating permit and is currently up-to-date on monitoring requirements. A 10-foot minimum setback must be maintained from the edge of the existing septic tank and the edge of the proposed pool. The surveyed 11.3' of horizontal separation satisfies this requirement. Care must be made so that existing system components are not disturbed during the construction of the proposed pool. The area containing the in-ground rockbed soil treatment area must not be used for staging or storing of materials. The soil treatment area should not be driven over with any vehicle larger than a riding lawnmower or similar garden tractor. Construction access should be done to the south of the dwelling as not to disturb the existing system.
3. This request was submitted to Andrew Nicolin, County Environmental Health Specialist, for review. Mr. Nicolin stated the landowner currently has a license to operate a Short Term Private Rental, and indicated earlier this summer that they would not be renewing the Short Term Private Rental license this upcoming year. I was told they would not be installing the pool as a public pool per MN pool code, and that it would be for private use only. The public would not be able to use the pool in any circumstance. Private pools/spas can be kept available for personal use if they are locked and/or drained (common examples are places where there are winter rentals and there's no water in the pools.)
4. This request has been submitted to Alan Gleisner, an Area Hydrologist with the Minnesota Department of Natural Resources. He stated the following: **OHWL setback:** The DNR recommends that setback distances be adhered to for all structures, however as I understand it, there is limited room to place an underground pool on this parcel due to current structure locations, drain fields, and driveways. My initial glance at the survey showed a large open area in the front yard outside of setbacks, but after our discussion and reviewing the staff report, the drain field is in this area and not suitable for an in-ground pool. If this variance request were to be approved, I recommend a condition be included that requires a screening of native trees/shrubs to block sights of this structure to the best extent possible from view while on the water. I would also recommend additional erosion control measures be implemented during installation due to a steeper slope relatively close to where the installation of pool and decking is proposed.
Impervious Surface: If this variance request were to be approved, I recommend a condition be included for a form of water retention onsite to treat stormwater above the 25% allowed impervious amount. There are many options available to treat stormwater like raingardens, rain gutter barrels, or above ground storage containers to name a few. Whichever form is chosen should be sized accordingly by a water use consultant/engineer so that water is stored temporarily before reaching the lake to allow for settling of sediment. If the lot does not allow this type of storage, another option could be a native planting along the entire length of shoreline of native grasses and forbs. This would allow some infiltration of the water before it reaches the lake. The staff report includes proposed conditions requiring removal of the additional water orientated structures, which is good to see as it reduces impervious surface in the SIZ, however additional measures would be beneficial.

PROPOSED FINDINGS

1. **Is the variance in harmony with the general purpose and intent of the official control?** The official controls in the request are the required setbacks from the OHWL, and the maximum impervious surface allowed on a lot.
 - a. **Ordinary High Water Level setback: The setback to the OHWL is for the protection of the sensitive feature-the lake.**
 - The proposed pool is outside of the shore impact zone.
 - The septic absorption area is located in the front yard, which prevents the pool from being constructed in the front yard.Based on the above information, the setback from the pool to the OHWL will not negatively impact the lake.

b. Maximum Impervious Surface: The maximum Impervious Surface limit is for the prevention of stormwater runoff into the sensitive feature- the lake

- The applicant is proposing to add an additional 924 square feet of impervious surface with the proposed pool. They are also proposing to remove 662 square feet from the Shore Impact Zone. This would put the Impervious Surface Coverage of the lot at 36.3%.
- There are three water oriented accessory structures on this property comprising of two sheds and a detached deck. The Zoning Ordinance allows for one water oriented accessory structure on a lot. Table below shows approximate square footage and impervious percentages of these structures.

Shed	122	0.5%	35.8%
Lake Shed	94	0.4%	35.7%
Lake Deck	102	0.4%	35.7%
Shed+Lake Shed	216	0.9%	35.4%
Shed + Lake Deck	224	0.9%	35.4%
Lake Deck+Lake Shed	196	0.8%	35.5%

Based on the above information, there are potential improvements to the proposal to reduce the amount of Impervious Surface on the lot.

2. Is the variance request consistent with the Comprehensive Land Use Plan?

- The land use plan references development design on lakes while protecting the natural resource of the lake itself as one of the goals.
- As part of the proposed pool construction, the applicant is proposing the removal of existing impervious surface, of which 662 square feet is being removed in the shore impact zone to minimize the impact.
- There are three water oriented accessory structures, with the Zoning Ordinance allowing for only one.

Based on the above information, the request could make improvements to be consistent with the Comprehensive Land Use Plan.

3. Is the property owner proposing to use the property in a reasonable manner, not permitted by an official control?

- The applicant is proposing to build an in-ground pool.
- A pool is a permitted accessory structure within the Recreational Residential Shoreland zoning district.
- The applicant has reduced impervious surface from their initial proposal for the pool.
- There are three water oriented accessory structures on this property comprising of two sheds and a detached deck. The Zoning Ordinance allows for one water oriented accessory structure on a lot.

Based on the above information, the request would need improvements to be a reasonable use not permitted by an official control.

4. Is the plight of the landowner due to circumstances unique to the property, and not created by the landowner?

- When the lots were originally created, a Zoning Ordinance was not in effect, and therefore no lot size standards existed.
- The septic absorption area is located in the front yard of the property, which restricts the pool from being put in that area.

Based on the above information, the plight of the landowner was not created by the landowner.

5. Will the issuance of the variance maintain the essential character of the locality?

- The locality is lakeshore residential lots.
- The applicant is proposing to add a pool on the lake side of their house, not visible from the road.
- Pools are a permitted accessory structure for the Recreational Residential zoning that the parcel is current zoned.
- There are accessory structures located similarly in the area.

Based on the above information, the request would maintain the essential character of the locality.

6. Does the alleged Practical Difficulty involve more than economic considerations?

- If approved, the applicant would be able to construct a pool on their property for personal use.

Based on the above information, the request does involve more than economic considerations.

PROPOSED CONDITIONS

In granting any Variance, the Board of Adjustment may designate such conditions in connection that will secure substantially the objectives of the Ordinance, regulation or provision to which the application is granted. Conditions must be directly related to and bear a rough proportionally to the impact created by the Variance.

1. *If approved*, all necessary permits shall be issued and exterior construction completed **prior to November 6, 2026**, unless an extension is granted by the Board of Adjustment.
2. An extension must be requested in writing and filed with the Department at least 30 days prior to the Variance expiration.
3. *If approved*, the survey (submitted October 3, 2025) shall become a part of the permit. Any deviation from the submitted plans shall first be reviewed by the Department for determination of whether additional variances would be required.
4. *If approved, and prior to the commencement of any construction related activities*, a **Zoning Permit** shall be submitted and issued for the pool.
5. *If approved, and prior to issuance of the zoning permit*, the applicant shall amend their plan to include only one water-oriented accessory structure for the lot.
6. *If approved*, the proposed pool shall be used only by the landowner. The pool cover shall be locked and the use of the pool shall be prohibited for the short term rentals on the property.



VARIANCE

LE SUEUR COUNTY
BOARD OF ADJUSTMENT

88 SOUTH PARK AVENUE
LE CENTER, MN 56057



Application Date:	<u>October 1, 2025</u>	Permit Number:	<u>BOA-001006-2025</u>	Fee:	<u>\$846.00</u>
60-Day Ruling Date:	<u>November 28, 2025- WAIVED</u>	911-Address:	<u>23945 Scotch Lake Road, Cleveland, MN 56017</u>		
Applicant(s):	<u>Christopher & Brooke Moore</u>	Landowner(s):	<u>Christopher & Brooke Moore</u>		
Mailing Address:	<u>23945 Scotch Lake Road</u>		Mailing Address:	<u>23945 Scotch Lake Road</u>	
City:	<u>Cleveland</u>		City:	<u>Cleveland</u>	
State:	<u>MN</u>	Zip:	<u>56017</u>	State:	<u>MN</u>
Phone:	<u>507-469-6906</u>		Phone:	<u>507-469-6906</u>	
Email:	_____		Email:	_____	

Township:	<u>Elysian</u>	Parcel No.:	<u>04.440.0120</u>		
Section:	<u>5</u>	Subdivision:	<u>Beaver Dam</u>		
TWP #:	_____	Lot #:	<u>9 & 10</u>	Zoning District:	<u>RR</u>
Range#:	_____	Block#:	<u>3</u>	FEMA Panel #:	<u>27079C0 300E</u>
1/4 - 1/4:	_____	Road Type:	<u>CTY</u>	Flood Zone:	<u>X Outside</u>

I (We), the undersigned, owner(s) and/or applicant(s) of the property described herein, do hereby respectfully petition your Honorable Bodies to grant a Variance, as hereinafter designated, and in support thereof, the following facts are presented:

1.) Reason for the Requested Variance:

Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake.

2.) Reasons for approval or denial of the request are listed in the Findings of Fact.

3.) Special Conditions of the Variance:

Please see the Final Decision Notice for all Conditions related to this request.

 APPLICANT/PROPERTY OWNER


 LE SUEUR COUNTY PLANNING & ZONING AUTHORITY

 DATE
 October 27, 2025

 DATE

**** ALL FEES ARE NON-REFUNDABLE****

ON-SITE TOUR DATE:	<u>November 6, 2025</u>	ACTION:	<u>Continued</u>
PUBLIC HEARING DATE:	<u>November 6, 2025</u>		_____
	<u>January 8, 2026</u>		_____
	_____		_____
AS WRITTEN		WITH CONDITIONS	

 BOARD OF ADJUSTMENT CHAIR

 DATE

VARIANCE FINDINGS OF FACT

Name of Applicant(s) or Landowner(s): Christopher & Brooke Moore

Variance #: BOA-001006-2025

Variance Request: Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to the Ordinary High Water Level (OHWL) from 100 feet to 55 feet and increase the maximum allowed Impervious Surface coverage on a lot to 36.3% to accommodate a 36' x 16' in-ground pool in a Recreational Residential "RR" Shoreland District of Lake Jefferson, a Recreational Development "RD" Lake.

A. The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on nonconformities.

B. No Variance may be granted that would allow any use that is prohibited in the Zoning District in which the subject property is located.

C. Facts supporting the answer to each question must be documented below, and are hereby certified to be the Findings of Fact of the Board of Adjustment.

D. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control and when the variances are consistent with the Comprehensive Plan.

Y N 1.) Is the variance in harmony with the general purpose and intent of the official control(s)?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 2.) Is the variance request consistent with the Comprehensive Land Use Plan?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

E. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control.

Y N 3.) Is the property owner proposing to use the property in a reasonable manner, not permitted by an official control?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 4.) Is the plight of the landowner due to circumstances unique to the property, and not created by the landowner?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 5.) Will the issuance of the variance maintain the essential character of the locality?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 6.) Does the alleged Practical Difficulty involve more than economic considerations?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

F. IF THE BOARD OF ADJUSTMENT DETERMINES ALL OF THE ABOVE STANDARDS HAVE BEEN MET BY A SIMPLE MAJORITY, THEN THE STANDARD FOR IDENTIFYING A PRACTICAL DIFFICULTY HAS BEEN ESTABLISHED.

ACTION: APPROVED DENIED

CONDITION(S): _____

APPLICANT'S RESPONSE TO THE CONDITIONS: _____

BOARD OF ADJUSTMENT CHAIR

DATE

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057

Website: www.lesueurcounty.gov

Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov



Le Sueur County ENVIRONMENTAL SERVICES

Application – Use Variance

I. Applicant:

Name Christopher and Brooke Moore
 Mailing Address 23945 Scotch Lake Road
 City Cleveland State MN Zip 56017
 Phone # 507-469-6906 Phone # 813-454-4747

II. Landowner:

Name same
 Property Address _____
 City _____ State _____ Zip _____
 Phone # _____ Phone # _____

III. Parcel Information:

Parcel Number 04.440.0120 Parcel Acreage _____
 Township Elysian Section _____
 Lot 10 Block 003
 Subdivision Beaver Dam Plat (Jefferson)

Full Legal Description must be attached.

(Full legal description can be found on deed, not abbreviated legal description from tax statement).

IV. Variance Request: List requested alternative to development standard(s).

We are requesting a variance to increase impervious surface from 35.9% to 36.6% (a 0.7% increase) and to reduce the lake setback from 100 feet to 55 feet to allow for a swimming pool.

V. Description of Request:

a. A full written description of the proposed variance request with detailed information must be attached.

VI. Township Notification:

Township must be notified prior to application. *(County Commissioners are not the Township Board.)*

Elysian Township notified on 9/9/2025
(Township Name) (Date)

Board Member Linus Hebl regarding the proposed request.
(Name)

VII. Site Plan - Shall be a Certificate of Survey to include, but not limited to:

- North point
- Lakes
- Well
- Access
- Setbacks
- Rivers
- Septic System
- Easements
- Property lines
- Wetlands
- Proposed Structures
- Road Right-Of-Way
- Streams
- Existing structures - **Within and adjacent to project area.**
- Lot Dimensions
- Ponds
- Location of trees to be removed - **Shoreland Districts.**
- Impervious Surface
 - Required for *Shoreland, Business, & Industrial Districts.*
 - Itemized current & proposed impervious surfaces to include total percentages.
 - Examples include but are not limited to: *rooftops, sidewalks, patios, decks, driveways, parking lots, storage areas and concrete, asphalt, or gravel roads, or tightly compacted soils.*

Site shall be physically staked, then surveyed

Stakes shall be in place at the time of onsite visit/meeting, or the application will be tabled

Stakes must remain in place until construction commences



VIII. Practical Difficulty:

- A. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official controls in all cases when there are practical difficulties in the way of carrying out the strict letter of the official controls and when the terms of the variance are consistent with the comprehensive plan.
- B. An area variance may be granted only where the strict enforcement of the official controls will result in a practical difficulty.
- C. It is the responsibility of the applicant/landowner to provide evidence to prove a practical difficulty exists.
- D. A variance may be granted only in the event that the following circumstances are found to be true (or are answered in the affirmative, yes):

1. Is the variance in harmony with the general purposes and intent of the official controls?

Consideration: What standard (setback, structure size, etc.) are you asking to be modified? What is the intended purpose of that standard? How does your request meet the intended purpose?

Yes. We are requesting to deviate slightly from the impervious surface standard by increasing from 35.9% to 36.6% and to reduce the lake setback from 100 feet to 55 feet in order to construct a swimming pool. To achieve this minimal increase, we have planned to removed other items on the property to offset impervious surface coverage. These requests are modest and maintain the overall intent of the ordinance while allowing for reasonable use of our property.

2. Is the request consistent with the comprehensive plan? *Consideration:* The County’s Land Use Plan lists several goals (see attached). Does your request violate any of these listed goals? If so, what steps could be taken to off-set the impact(s) your request has on these goals?

Yes. Our request is consistent with the County’s Land Use Plan and does not violate its goals. The swimming pool will be located within our property and constructed to meet all required building codes. To offset any potential impacts, we will install appropriate plantings recommended by our landscaping company as Best Management Practices (BMPs) and follow all construction guidelines, including protective measures such as silt fences. These steps will ensure the project aligns with the plan’s goals of preserving natural character while allowing for reasonable residential use.

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the official controls? *Consideration:* Is the request reasonable based on the existing use of the property? Why? What County standard is keeping your request from being approved? How is the proposal reasonable in relation to the requirements of the zoning ordinance?

Yes. The request is reasonable based on the existing residential use of the property. The property is already developed for family living, and adding a swimming pool is a typical and appropriate residential amenity. The County standards limiting impervious surface coverage and requiring a 100-foot setback are the controls preventing approval without a variance. Our proposal seeks only a minor increase in impervious surface from 35.9% to 36.6% and a reduced lake setback of 55 feet to allow the pool’s placement. These adjustments are modest in scale, maintain the residential character of the property, and are consistent with the intent of the zoning ordinance while allowing our family to reasonably enjoy and benefit from our property.

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4. **Is the plight of the landowner due to circumstances unique to the property not created by the landowner?** *Consideration:* What unique characteristic does the property have that is making it impossible for your request to meet all County standards? Is the request the result of events outside the control of the landowner and not due to the landowner's previous decisions or actions?

Yes. The lot's size, shape, and existing placement of the home and septic system limit where a pool can be built while meeting County standards. These conditions were established before our ownership and are not the result of our actions. A variance is needed to reasonably use the property for this purpose.

5. **Would the variance maintain the essential character of the locality?** *Consideration:* How would you describe the character of the neighborhood or surrounding area? If approved, would the end result of your request make your property appear different than those in the surrounding area?

Yes. The neighborhood is a lake community with families enjoying outdoor living, and there is also a campground next door. Adding a pool is consistent with this recreational setting and will not change the residential character of our property.

6. **Does the request involve more than economic considerations alone?** *Consideration:* Why are you seeking the variance? Would the request do more for you than add value to your property? If so, what?

Yes. Our request is based on family and personal needs, not economics. We have five children, including one with autism, and a swimming pool would provide therapeutic benefits as well as a safe and enjoyable space for family time together. The variance would allow us to improve our quality of life and support our son's needs.

IX. Attachments shall include but not limited to:

- | | |
|--|--|
| <input type="radio"/> Description of Request | <input type="radio"/> Septic Compliance (if applicable) |
| <input type="radio"/> Site Plan(s) – Survey showing Existing & Proposed Conditions | <input type="radio"/> Floor Plans or Building Plans (if applicable) |
| <input type="radio"/> Surveyor Certification | <input type="radio"/> Erosion Control Form |
| <input type="radio"/> Township Notification – See Part VI | <input type="radio"/> Erosion Control Plan |
| <input type="radio"/> Access Approval – Attached approval from the applicable road authority | |
| <input type="radio"/> Full Legal Description – Not abbreviated description from tax statement | |

The Department may request additional information regarding the application.

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X. Quantities and Submittal Formats:

- a. One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- b. Electronic version of any supporting documents are preferred, *if available*.
- c. Additional copies may be requested as deemed necessary by the Department.

XI. Fees:

Variance: \$ 800
Time Extension: \$ 600
Filing Fee: \$ 46

Variance for Clusters: \$ 800 + \$200 per household
Filing Fee: \$ 46

Additional Fees:

Special Meeting: \$1,500
After-The-Fact meeting fee: Doubled + After-The-Fact Penalty.
After-The-Fact Penalty: \$1,500 OR 10% of the improvement, whichever is greater.

*****Fees are non-refundable, and must be paid at the time of application*****

XII. Procedure: *See Section 22 of the Zoning Ordinance for full details.*

- a. A pre-application meeting is highly recommended. Please note, applications submitted without having a pre-application meeting may need to be delayed if the submitted application cannot be deemed complete prior to the required application deadline. **Please note that scheduling an Appointment for this meeting is required.**
- b. An application must be submitted either in person or electronically by the applicant and/or landowner no later than 2 P.M. on the date of application deadline.
- c. All required information must be submitted at the time of application, or the application may not be deemed complete.
- d. Incomplete applications shall be placed on Hold until such time all required information is submitted.
- e. **All fees shall be paid at the time of application.**
- f. Notification will be sent to all landowners within 500 feet of the affected property, (minimum of 10 landowners) as well as the affected Town Board, any municipality within 2 miles, and other applicable agencies.
- g. Notice will be published in the newspaper of general circulation in the area concerned and the official newspaper of the County.
- h. The Board of Adjustment may conduct an onsite visit to the affected property prior to the scheduled meeting. Any conversation with the Board of Adjustment during the onsite visit is prohibited.

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- i. The Board of Adjustment shall hold a public hearing on the proposed Variance at a scheduled Board of Adjustment meeting.
- j. The applicant or a representative shall appear before the Board of Adjustment in order to answer questions concerning the request, or the application will be tabled.
- k. The Board of Adjustment has the authority to request additional information or impose conditions.
- l. The Board of Adjustment has the authority to determine Variance approval or denial. No Variance may be granted that allows any use that is prohibited in the Zoning District in which the property is located, unless that use is deemed a legal nonconforming use as defined by the Zoning Ordinance.
- m. The Department shall notify the applicant and/or landowner in writing of the Board of Adjustment decision.
- n. The Department will file a certified copy of any order or decision issued by the Board of Adjustment with the County Recorder.
- o. A Zoning Permit is required prior to starting construction; however, Zoning Permits will not be available the day of the Board of Adjustment meeting. A Zoning Permit application shall be approved prior to obtaining a Zoning Permit.

XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Brooke Moore
Applicant signature

10/01/2025
Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Christopher Moore
Landowner signature

10/01/2025
Date

Variance Request – Brooke and Chris Moore

We respectfully request approval for two variances on our property:

1. **Impervious Surface** – Our current impervious surface coverage is 35.9%. We are requesting approval for a small increase to 36.6% (a 0.7% increase).
2. **Lake Setback** – The ordinance requires a 100-foot setback from the lake. We are requesting a variance to allow placement of a swimming pool at a 55-foot setback.

We will work with our landscaping company to include appropriate plantings as Best Management Practices (BMPs) along the property to maintain natural character and meet environmental expectations. All construction will follow applicable building codes and standards as provided by Atlantis Pools and subcontractors. This includes the use of silt fences and other protective measures during construction. We anticipate beginning construction either this fall or in early spring, depending on project scheduling.

This home is currently licensed as a short-term rental property. We will continue to maintain our active short-term rental license; however, the pool will not be available to renters. The pool will have a protective, lockable cover, as included in the quote submitted by Atlantis Pools. We will also coordinate with the health department to ensure compliance with all short-term rental licensing requirements and procedures.

We believe these requests are modest, respectful of the ordinance's intent, and necessary to allow reasonable use of our property for the benefit of our family.

Respectfully submitted,

Brooke and Chris Moore

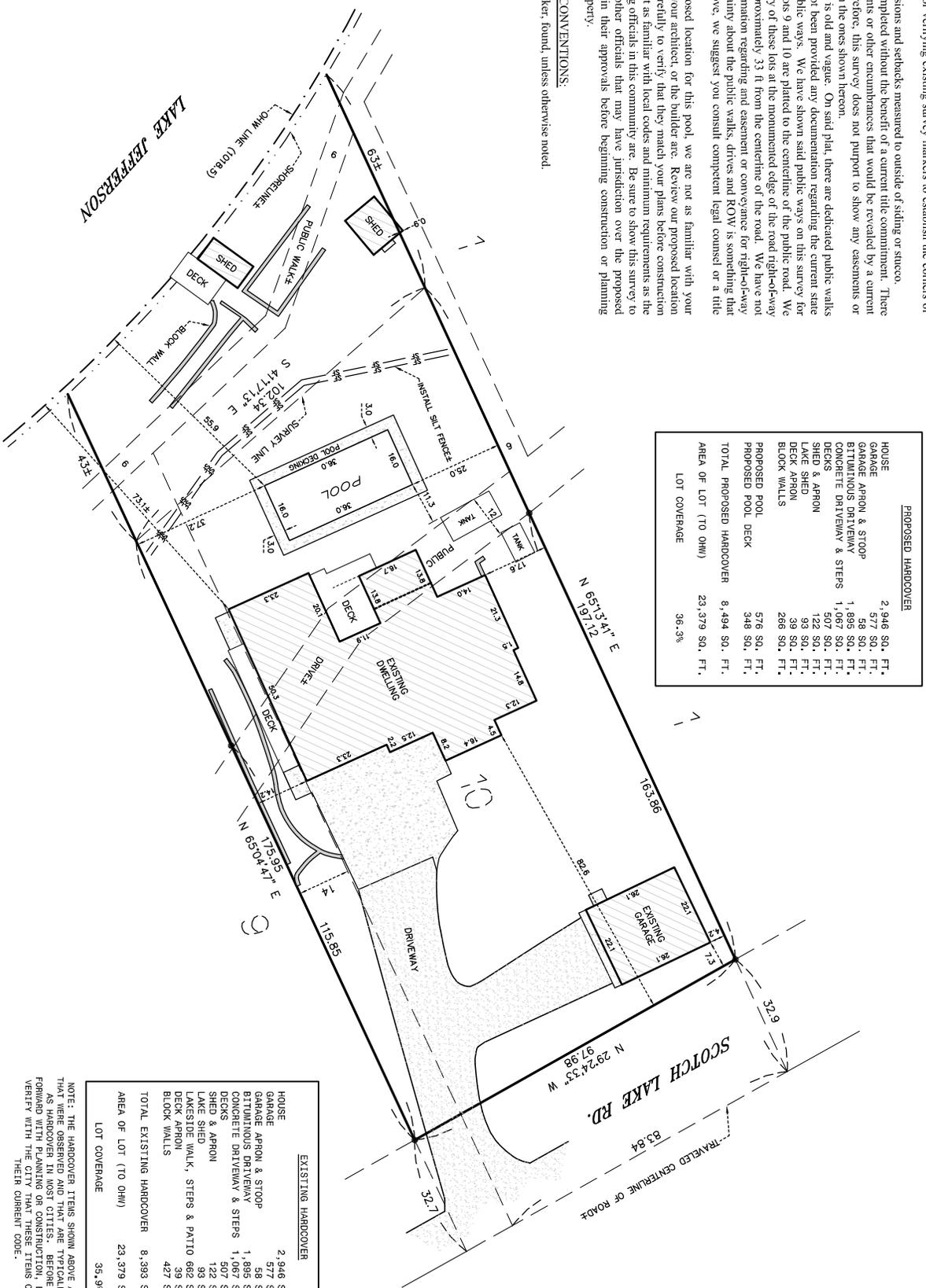
LEGAL DESCRIPTION:
 Lot 10 and the North 14 feet of Lot 9, Block 3, Beaver Dam, Le Sueur County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Existing building dimensions and setbacks measured to outside of siding or stucco.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown herein.
- The plat of Beaver Dam is old and vague. On said plat, there are dedicated public walks and drives. We have not been provided any documentation regarding the current state and validity of those public ways. We have shown said public ways on this survey for reference only. Also, Lots 9 and 10 are platted to the centerline of the public road. We are showing the boundary of these lots at the monumented edge of the road right-of-way which appears to be approximately 33 ft from the centerline of the road. We have not been provided any information regarding and easement or conveyance for right-of-way purpose. If the uncertainty about the public walks, drives and ROW is something that you would like to remove, we suggest you consult competent legal counsel or a title company.
- While we show a proposed location for this pool, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.

STANDARD SYMBOLS & CONVENTIONS:

••• Denotes iron survey marker, found, unless otherwise noted.



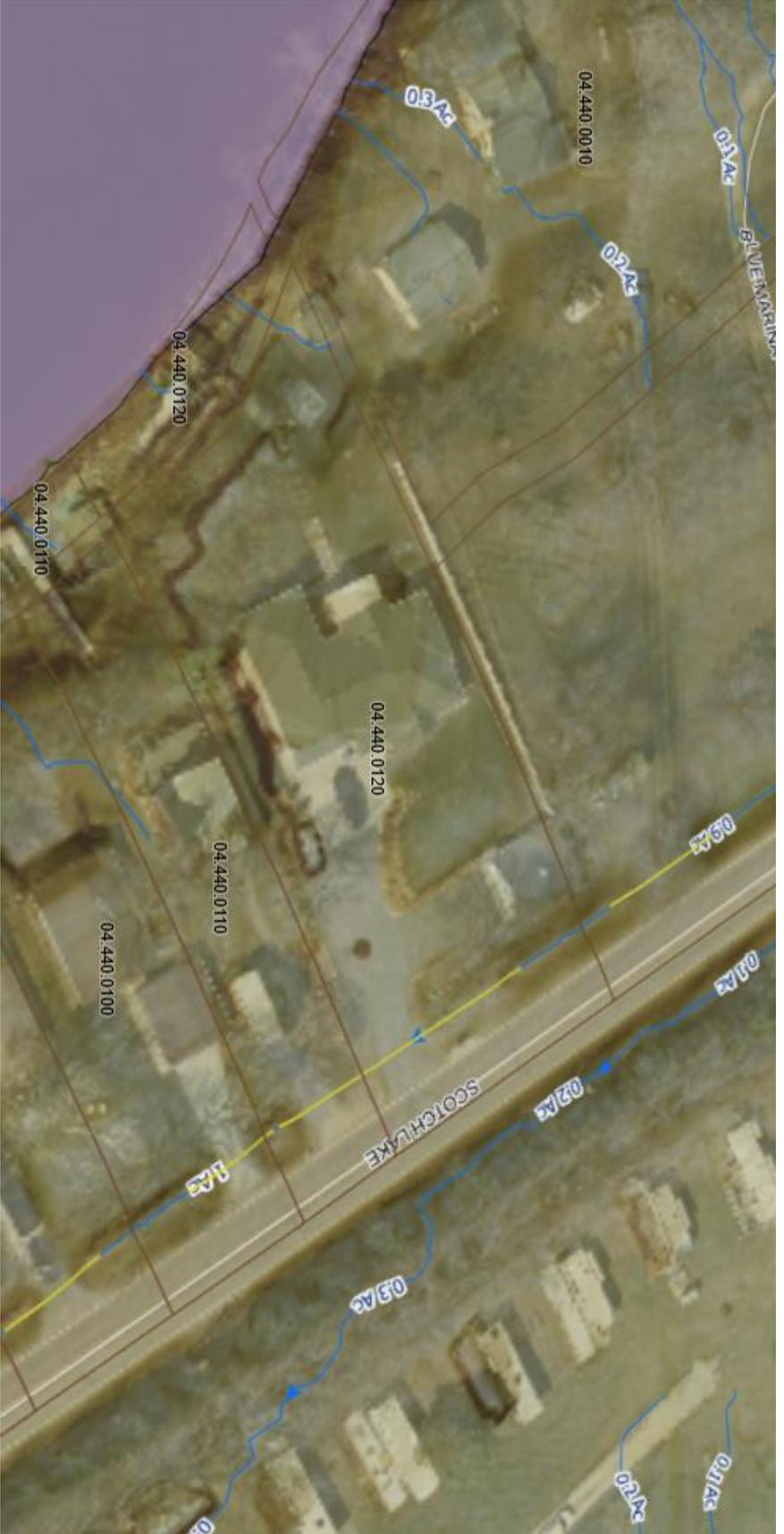
PROPOSED HARDWARE	
HOUSE	2,946 SQ. FT.
GARAGE	577 SQ. FT.
BITUMINOUS DRIVEWAY	58 SQ. FT.
CONCRETE DRIVEWAY & STEPS	1,895 SQ. FT.
DECKS	1,087 SQ. FT.
SHED & APRON	507 SQ. FT.
SHED	122 SQ. FT.
LAKESIDE WALK, STEPS & PATIO	93 SQ. FT.
DECK APRON	39 SQ. FT.
BLOCK WALLS	286 SQ. FT.
PROPOSED POOL	576 SQ. FT.
PROPOSED POOL DECK	348 SQ. FT.
TOTAL PROPOSED HARDWARE	8,494 SQ. FT.
AREA OF LOT (T0 OHW)	23,379 SQ. FT.
LOT COVERAGE	36.3%

EXISTING HARDWARE	
HOUSE	2,946 SQ. FT.
GARAGE	577 SQ. FT.
BITUMINOUS DRIVEWAY	58 SQ. FT.
CONCRETE DRIVEWAY & STEPS	1,895 SQ. FT.
DECKS	1,087 SQ. FT.
SHED & APRON	507 SQ. FT.
LAKESIDE WALK, STEPS & PATIO	93 SQ. FT.
DECK APRON	39 SQ. FT.
BLOCK WALLS	427 SQ. FT.
TOTAL EXISTING HARDWARE	8,393 SQ. FT.
AREA OF LOT (T0 OHW)	23,379 SQ. FT.
LOT COVERAGE	35.9%

NOTE: THE HARDWARE ITEMS SHOWN ABOVE ARE THOSE THAT WERE OBSERVED AND THAT ARE TYPICALLY COUNTED AS HARDWARE IN MOST CITIES. BEFORE MOVING FORWARD WITH PLANNING OR CONSTRUCTION, BE SURE TO VERIFY WITH THE LOCAL OFFICIALS THE ITEMS CORRESPOND TO THEIR CURRENT CODE.

DATE	REVISION DESCRIPTION	DWG ORIENTATION	SCALE	CLIENT/JOB ADDRESS	Advance Surveying & Engineering, Co. 17917 Highway No. 7 Mendota, Minnesota 55445 Phone: (762) 714-3000 Web: www.advanceco.com	I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: NOVEMBER 3, 2023	DATE SURVEYED: NOVEMBER 2, 2023	SHEET TITLE PROPOSED SURVEY	SHEET NO. S1
8/22/23	ADD HARDWARE CALCULATIONS			BROOKE & CHRIS MOORE 23945 SCOTCH LAKE RD. CLEVELAND, MN		LICENSE NO. 443803	DATE DRAFTED: NOVEMBER 3, 2023	SHEET SIZE: 17 X 22 DRAWING NUMBER Z51442 WP	SHEET 1 OF 1
8/28/23	SHOW PROPOSED POOL								
9/18/23	SHOW SEPTIC TANKS AND UPDATED POOL								
9/19/23	REMOVE HC ITEMS PER CLIENT								
10/3/23	REMOVE WALK, ADD SILT FENCE								

RECEIVED 10-03-2025



Atlantis Pools, Inc.

10200 73rd Ave N, Suite 100, Maple Grove, MN 55369

www.AtlantisPoolsInc.com * 763-560-0103 * info@atlantispoolsinc.com

Pool Size and Shape 16' x 36' UNDERTRACK Auto Cover Date: 8/19/25

- Wall Type – Galvanized Steel 5' top & bottom
- Bracing Top & Bottom/Double Bracing
- Deck Supports (6" Sono Tubes, Concrete Filled Deck Support)
- Heavy Duty Concrete Bond Beam Footing
- Pool Bottom – Poolcrete Hard Finish
- 2 Wide Mouth Skimmers / 3 Returns / 2 Main Drains
- Wall Foam
- Tigerflex PVC Plumbing Under Ground / 2" Hard Schedule 40 PVC Above Ground
- All Individual Plumbing Lines & Valves
- Equipment Placed on a Finished Concrete Pad
- Deluxe Accessory Package.

Base Price: 73,400

➤ Hayward Digital Induced Draft Heating system	<u>250,000 BTU</u>	<u>included</u>
➤ Hayward ASL Cartridge Filter System	<u>4030</u>	<u>included</u>
➤ Hayward Pump System	<u>TRI-STAR VS</u>	<u>included</u>
❖ Automatic Pool Cover	<u>UNDERTRACK</u>	<u>11,900</u>
❖ Steps	<u>FULL END</u>	<u>3400</u>
❖ Special In/Wall Additions		
❖ Diving Board	<u>6' Diving Board</u>	<u>1100</u>
❖ Saline System	<u>Hayward Salt Control</u>	<u>2900</u>
❖ Auto Vacuum System	<u>HAYWARD Auto VAC</u>	<u>1500</u>
❖ Light	<u>HAYWARD LED Color Change</u>	<u>1600</u>
❖ Slide		
❖ Miscellaneous		

Total 95,800

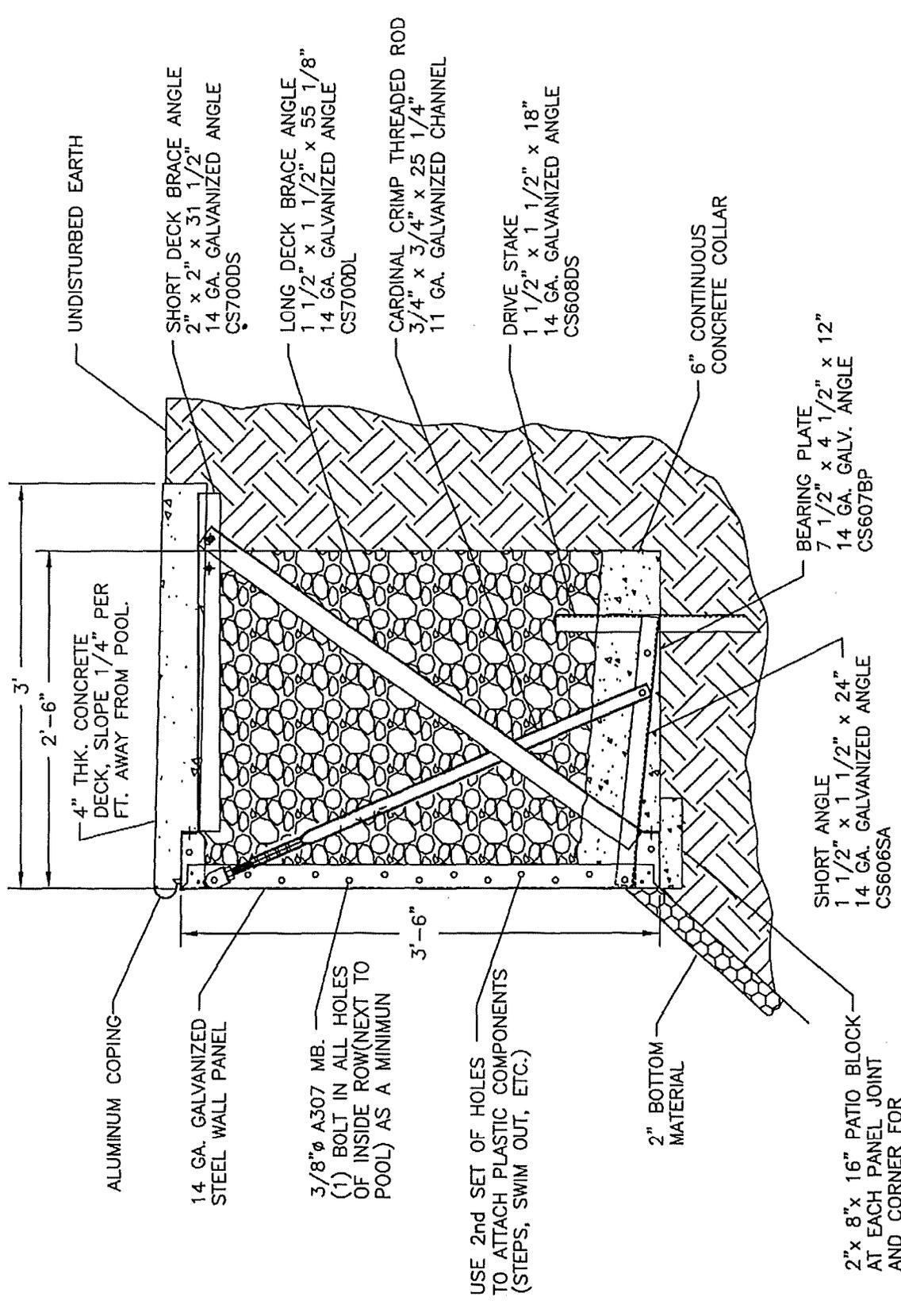
To Be Bid Separately: Approx 1/2 by OTHER

White Concrete 10⁵⁰⁺ per square foot
 Colored Concrete 12⁺⁺ per square foot
 Stamped Concrete 14⁺⁺ per square foot

Building Permit Estimate FT Cost
 Gas Estimate 3000⁺⁺ Approx
 Electric Estimate 7000⁺⁺ Approx

Other Information: * Plus concrete, permit, gas/electric, Landscaping, Potential sump system, for POTENTIAL slip preparation

Customers Name: BROOKE MOORE
 Address _____ City Cleveland State _____ Zip _____
 Cell _____ Work _____
 Email _____



UNDISTURBED EARTH

SHORT DECK BRACE ANGLE
2" x 2" x 31 1/2"
14 GA. GALVANIZED ANGLE
CS700DS

LONG DECK BRACE ANGLE
1 1/2" x 1 1/2" x 55 1/8"
14 GA. GALVANIZED ANGLE
CS700DL

CARDINAL CRIMP THREADED ROD
3/4" x 3/4" x 25 1/4"
11 GA. GALVANIZED CHANNEL

DRIVE STAKE
1 1/2" x 1 1/2" x 18"
14 GA. GALVANIZED ANGLE
CS608DS

6" CONTINUOUS
CONCRETE COLLAR

BEARING PLATE
7 1/2" x 4 1/2" x 12"
14 GA. GALV. ANGLE
CS607BP

SHORT ANGLE
1 1/2" x 1 1/2" x 24"
14 GA. GALVANIZED ANGLE
CS606SA

2"x 8"x 16" PATIO BLOCK
AT EACH PANEL JOINT
AND CORNER FOR
LEVELING, AT
CONTRACTORS OPTION

NOTE: BACKFILL TO BE SAND, GRAVEL
OR OTHER NON EXPANSIVE MATERIAL

4" THK. CONCRETE
DECK, SLOPE 1/4" PER
FT. AWAY FROM POOL.

ALUMINUM COPING

14 GA. GALVANIZED
STEEL WALL PANEL

3/8"ø A307 MB.
(1) BOLT IN ALL HOLES
OF INSIDE ROW(NEXT TO
POOL) AS A MINIMUM

USE 2nd SET OF HOLES
TO ATTACH PLASTIC COMPONENTS
(STEPS, SWIM OUT, ETC.)

2" BOTTOM
MATERIAL

3'

2'-6"

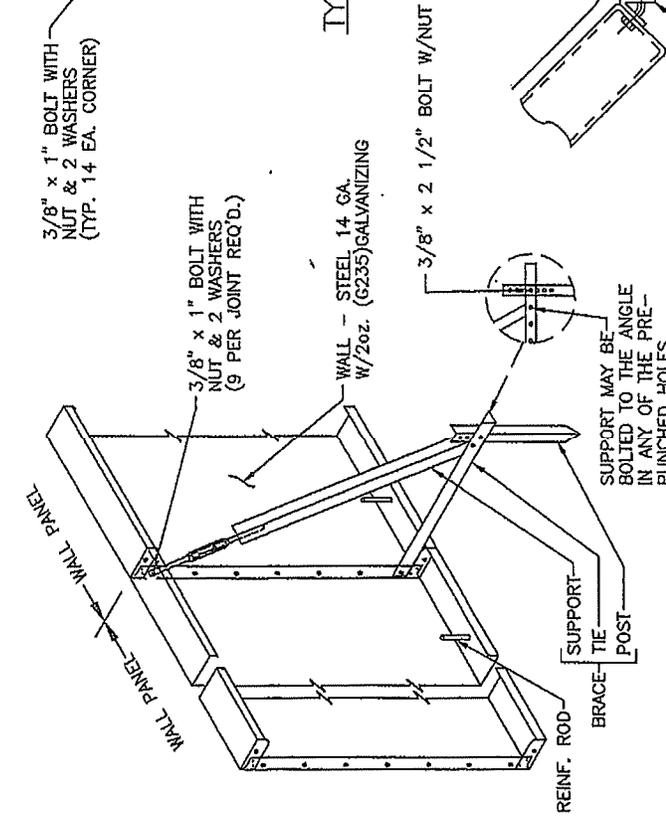
3'-6"



Name: CONSTRUCTION DETAIL SHEET - HUNG LINER STEEL POOL

Number: CONSTDET-STEEL

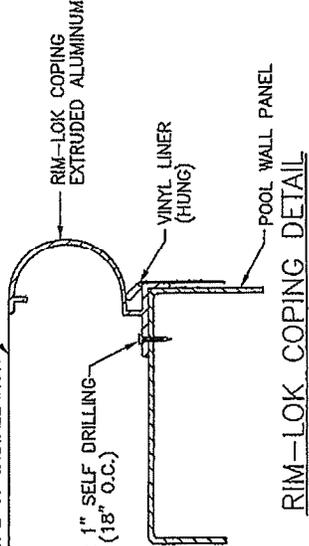
250 Route 61 South, Schuylkill Haven, PA 17972 • 570-385-4733 • fax: 570-385-1318 • CustomerService@CardinalSystemsInc.com



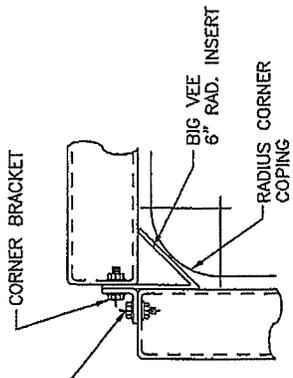
TYPICAL WALL BRACE ASSEMBLY

CONCRETE DECK REQ'D. WITH THIS TYPE OF INSTALLATION

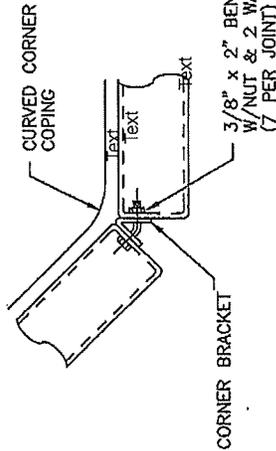
#12-14 x 1" SELF DRILLING FASTENER (18" O.C.)



RIM-LOK COPING DETAIL

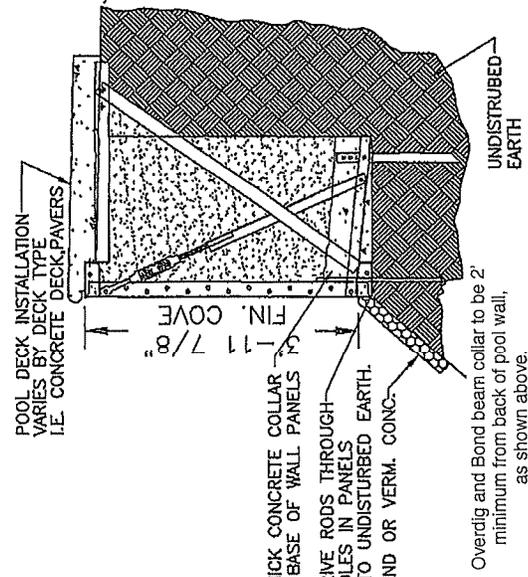


TYPICAL CORNER DETAIL (RECTANGULAR POOLS)



TYPICAL CORNER DETAIL (GRECIAN POOLS)

THE CONSTRUCTION METHODS ILLUSTRATED APPLY ONLY TO NORMAL GROUND CONDITIONS. IF UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED (I.E. HIGH ORGANIC MATERIAL, HIGH WATER LEVEL) ADDITIONAL MEASURES MUST BE TAKEN TO PROVIDE SUBSURFACE CONDITIONS WITHIN THE STRUCTURAL CAPABILITIES OF THE PANEL. ANY ADDITIONAL PRECAUTIONS OR METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. (NOTE: DECK SUPPORTS ARE OPTIONAL.)



Overdig and Bond beam collar to be 2" minimum from back of pool wall, as shown above.

TYP. LINER INSTALLATION DET.

- PLANNING NOTES:
- SET WIDTH OF POOL AT RIGHT ANGLES TO SLOPE
 - FINISHED ELEVATION OF DECK TO BE 1'00" ABOVE SURROUNDING GRADE
 - PROVIDE SWALE AROUND UPHILL SIDE OF DRAIN.
 - SURFACE WATER AWAY FROM POOL
 - CONCRETE DECK SHOULD SLOPE MIN. 1/4" PER FOOT AWAY FROM POOL
 - PLOT PLAN FURNISHED BY OWNER TO SHOW POOL LOCATION AND ENCLOSURE.
 - ELECTRICAL, PLUMBING AND FENCING TO CONFORM TO ALL CODES.
 - OPTIONS EXTRA IF REQ'D. BY SITE CONDITIONS OR WHEN SPECIFIED BY OWNER.
 - AT LEAST ONE MEANS OF EGRESS SHALL BE PROVIDED. OPTIONAL STAIRS OR LADDER

Date:	6/14/20
Drawn By:	SHAWN
Scale:	NONE



CardinalSystemsInc.com



ENVIRONMENTAL SERVICES

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 Phone: 507-357-8538 environmentalservices@co.le-sueur.mn.us

Le Sueur County Erosion Prevention and Sediment Control Plan

OWNER / CONTRACTOR			
Owner's Name: Chris and Brooke Moore	Email: moorebrookea@gmail.com	Phone #: 5074696906	
Address: 23945 Scotch Lake Rd	City: Cleveland	State: MN	Zip: 56017
Contractor's Name: Atlantis Pools	Email: Mark@atlantispoolsinc.com	Phone #: 763-560-0103	
Address: 10200 73rd Ave North	City: Maple Grove,	State: MN	Zip: 55369
SITE LOCATION			
Site Address: 23945 Scotch Lake Rd			
Subdivision: Beaver Dam Plat (Jefferson)	Parcel ID: 04.440.0120		
Project Purpose: inground swimming pool			
Estimated Start Date: 05/01/2026	Estimated Completion Date: 08/01/2026		
COUNTY USE ONLY			
Environmental Services Approval:		Date:	
Permit Number:	Inspection Date:		

Statement of Compliance

The property owner and the contractor conducting work on the site are both responsible for all the construction activities that occur on the site. By signing this document both parties are responsible for the installation and maintenance of all erosion and sediment control BMPs to ensure that sediment, soil, and debris does not leave the construction site. This includes but is not limited to tracking of soil /mud onto public streets and roadways from vehicles leaving the site, soil eroding from the site onto roadways, lakes, streams, drainage ditches, or onto neighboring property. If sediment, soil/mud and/or debris leaves the site, both parties are responsible for the immediate clean up and all costs and fines associated with it. Both parties are also responsible for the total restoration of vegetation on the site (seed/mulch, sod, gardens) after construction disturbance is substantially complete, and only after vegetation has been established with vigorous growth can BMPs be cleaned and removed. Permits can be closed only after full restoration is complete. **Both the property owner and contractor signatures are required.**

Landowner Signature: Brooke Moore/Chris Moore	Date: 10/01/2025
Contractor/Applicant Signature: Mark Richgels	Date: 10/01/2025

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Address: 88 South Park Avenue, Le Center MN 56057

Phone: 507-357-8538 environmentalservices@co.le-sueur.mn.us

Erosion Prevention and Sediment Control Narrative

A) Attach full description of your project and type of foundation/disturbance. (ex: constructing a 1,500 sq ft house w/full basement; constructing an attached 20 ft by 20 ft garage; constructing a 50 ft by 14 ft driveway, and constructing a 10 ft by 10 ft patio, etc.).

B) How much land are you disturbing?

Total (Square Feet):	TBD	
Are you importing/exporting any fill? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Amount of Grading, Excavating, and Filling Activities (Cubic Yards):	TBD

C) Describe the slope of the land and slope of the adjacent land.

D) List all temporary erosion prevention and sediment control measures you intend to use and when you will be installing them. Show their proposed location in an attached drawing. [At a MINIMUM, you must have perimeter control such as silt fence and washing rock construction entrance.] *Also, show and protect stockpiles.*

2 silt fences and washing rock construction entrance

E) Final Stabilization. Date you will sod, or seed & mulch, or otherwise establish vegetation on the disturbed area.

Method:	Sod + BMPs as recommended by landscaper TBD
Target Date:	08/01/2026

F) If the site is not vegetated before snow cover, describe below your selected winter-over protection methods.

Le Sueur County Erosion Prevention and Sediment Control Plan Guidelines

Violations of Erosion Prevention and Sediment Control Plan

Upon notice of violation, the contractor or landowner shall respond within 48 hours with sufficient personnel, equipment, and materials and conduct the required corrective work. Violation are subject to an **Erosion Control/Job Site Re-Inspection Fee. Continued violations are subject to additional fees.**

Erosion Prevention and Sediment Control Plan (ESCP)

The Erosion Prevention and Sediment Control Plan shall be included as part of a Permit Application (ex: Zoning, Septic, IUP, Variance, LAP). The Erosion Prevention and Sediment Control Plan shall be prepared as follows:

- Complete the attached Narrative Form or use a separate sheet. Fill in **all** areas as completely as possible.
- Complete a Site Plan showing the items listed in the Elements of Erosion Prevention and Sediment Control Plan.

*These are the absolute minimum submittal requirements for all projects. The entire permit application needs to be completed in full or it will be returned to the applicant as incomplete. Incomplete Narratives or Site Plans will be returned for additional information and will delay permit approval. **Please refer to the checklist for more guidance on what is required (pg. 4).***

Erosion and Sediment Control Methods

Control of sediment is required so that it does not migrate to an adjoining property, roadway, catch basin, or a wetland/watercourse. Examples are provided that depict some of the control methods commonly used for erosion and sediment control. Silt fence barriers and crushed rock temporary entrances are common control methods that can be effective for small projects. Additional methods, such as sediment traps and detention structures, are required for some projects and a qualified professional may need to specify the appropriate erosion and sediment control methods.

Activities Exempt from the Ordinance

Minor land disturbing activities are exempt such as: home gardens, utility work, or harvesting of agricultural, horticultural, and silviculture crops. There may be additional circumstances that fall under the exemption but require staff approval.

* All projects regardless of area disturbed, are required to fill out the Erosion Prevention and Sediment Control Plan. Additionally, all projects regardless of area disturbed, will be inspected for compliance with the approved Erosion Prevention and Sediment Control Plan.*

* If county staff determines that the proposed development is in a vulnerable area (steep slopes, erodible soils, adjacent to sensitive areas, etc.) and may cause degradation of the surface or ground waters, additional measures may be required.*

NOTE: The MPCA Stormwater Permit for Construction Activity (General Permit Authorization to Discharge Stormwater Associated with Construction Activity under the National Pollutant Discharge Elimination) must be completed in addition to this permit for any construction activity disturbing:

- one acre or more of soil.
- less than one acre of soil, if that activity is part of a larger "common plan of development or sale" that covers more than one acre.
- See the following link for information regarding the MPCA Construction Stormwater Permit:
<https://www.pca.state.mn.us/business-with-us/construction-stormwater>.

ENVIRONMENTAL SERVICES

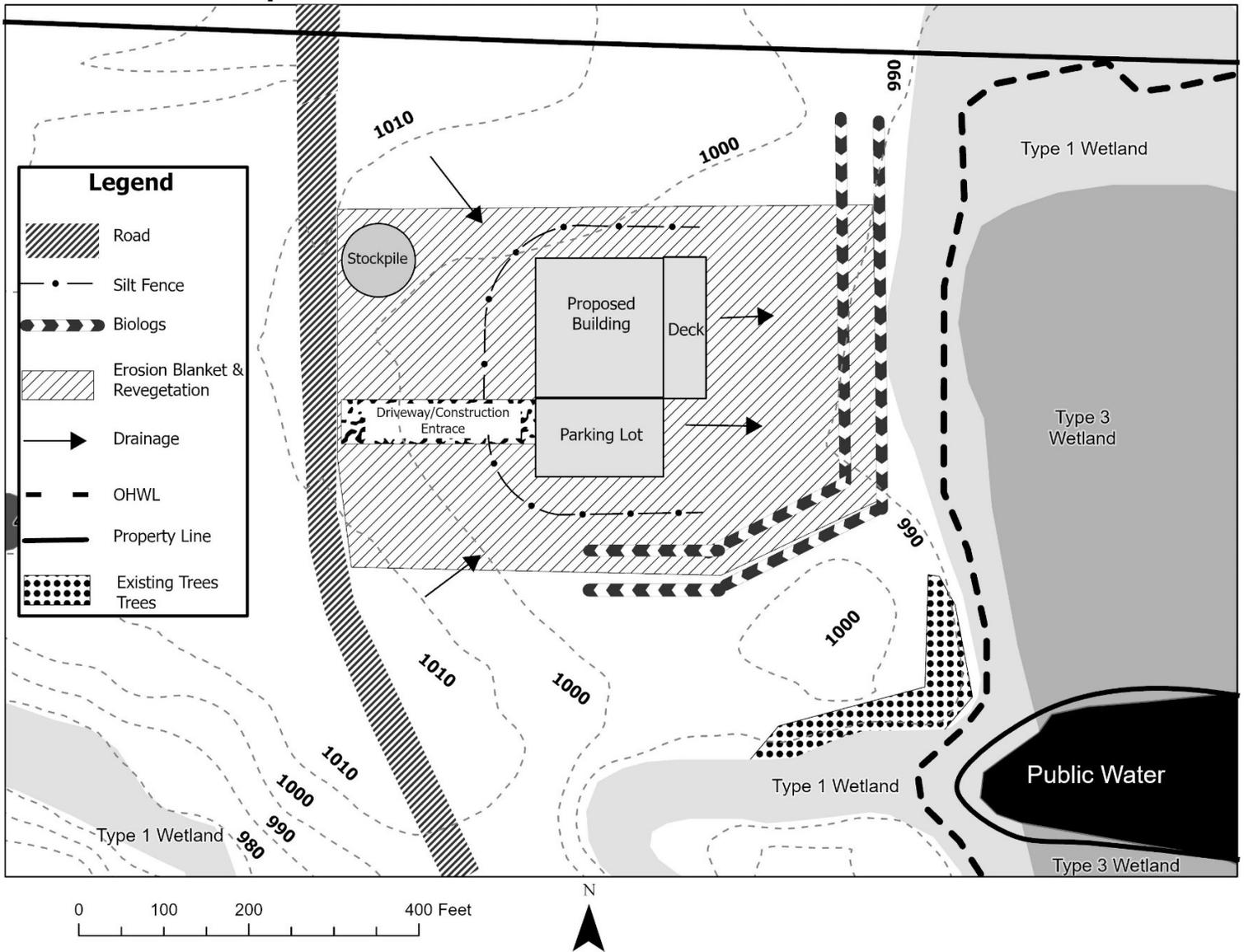
Address: 88 South Park Avenue, Le Center MN 56057

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ELEMENTS OF EROSION & SEDIMENT CONTROL PLAN (ESCP) CHECKLIST

ESCP PROJECT NARRATIVE	SITE PLAN REQUIREMENTS	STAFF CRITERIA TO CONSIDER (IN ADDITION TO NARRATIVE & SITE PLAN)
<input type="checkbox"/> Project Description	<input type="checkbox"/> Location Map	<input type="checkbox"/> Zoning District
<input type="checkbox"/> Existing Site Conditions	<input type="checkbox"/> Location of Temporary Erosion Prevention & Sediment Control Practices	<input type="checkbox"/> Existing & Proposed Contours
<input type="checkbox"/> Phasing of Construction	<input type="checkbox"/> Stockpile Location(s)	<input type="checkbox"/> Soil Types & Description
<input type="checkbox"/> Critical Areas Identified	<input type="checkbox"/> Location of Well	<input type="checkbox"/> Critical Erosion Areas
<input type="checkbox"/> Adjacent areas affected by project	<input type="checkbox"/> Location of Septic	<input type="checkbox"/> Setbacks
<input type="checkbox"/> Temporary Erosion Prevention & Sediment Control Measures	<input type="checkbox"/> Location of Structures	<input type="checkbox"/> Elevations & Grades
<input type="checkbox"/> Maintenance schedule for Erosion Prevention & Sediment Control Measures	<input type="checkbox"/> Any creeks, ditches, streams, rivers, lakes, wetlands, bluffs, other sensitive features within 200 feet	<input type="checkbox"/> Location of Other Best Management Practices (if applicable)
<input type="checkbox"/> Permanent Stabilization Measures	<input type="checkbox"/> Existing Vegetation-trees, shrubs, grasses, wetlands	
<input type="checkbox"/> Stormwater management considerations	<input type="checkbox"/> Property Boundaries & Lot Lines	
<input type="checkbox"/> Calculations	<input type="checkbox"/> North Arrow & Scale	
<input type="checkbox"/> Working in or crossing water bodies (if applicable)	<input type="checkbox"/> Construction Access Route	
<input type="checkbox"/> Project Access	<input type="checkbox"/> Contours	
<input type="checkbox"/> Responsible Party name, address, and phone number	<input type="checkbox"/> Pre and Post Drainage	
<input type="checkbox"/> Weather & Time of Year	<input type="checkbox"/> Easements (if applicable)	
<input type="checkbox"/> Additional Information		

Example of Erosion Prevention & Sediment Control Site Plan



ENVIRONMENTAL SERVICES

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GENERAL NOTES FOR EROSION CONTROL

MULCH

- Install in order to prevent bare soil exposure and stabilize soils when not actively grading.
- Mulch must be free of noxious weeds and invasive species.
- Recommended to be anchored with tackifying agent or disk to reduce movement and maintenance.
- Inspect often and maintain.

STRAW BALES, SILT FENCE, and BIO-ROLLS

- Put up before any other work is done.
- Install on downslope side(s) of site with ends extended up slope a short distance.
- Place parallel to the contour of the land to allow water to pond behind the fence.
- Entrench 4 inches deep.
- Stake (every 3 feet minimum).
- Leave no gaps (overlap if necessary).
- Inspect often and maintain.
- Remove sediment when deposits reach halfway up fence, bale, or roll.
- Duplicative measures are needed near sensitive features (ex: lake, stream, ditch, bluff, steep slope, wetland).

ROCK CONSTRUCTION ENTRANCE

- Install single construction access using crushed rock (1 ½ "to 3 ") to prevent tracking of soils off project site.
- Put rock 6 inches deep and 14 feet wide. Length will vary but must be distance from access to project area.
- Maintain rock access through project end.
- All vehicles use rock entrance.
- Remove rock entrance and restore area once project(s) completed.

SEDIMENT CLEANUP

- By the end of each workday, sweep/scrape up soil tracked on roads, alley, and sidewalk.
- After a storm, clean up soil washed off site onto sidewalks, streets, alleys.

REVEGETATION

- Seed or sod disturbed area as soon as project is completed.
- Hydroseeding is very effective on steep slopes.
- Le Sueur County Ordinance requires that **all exposed soil must be covered within 24 hours!**

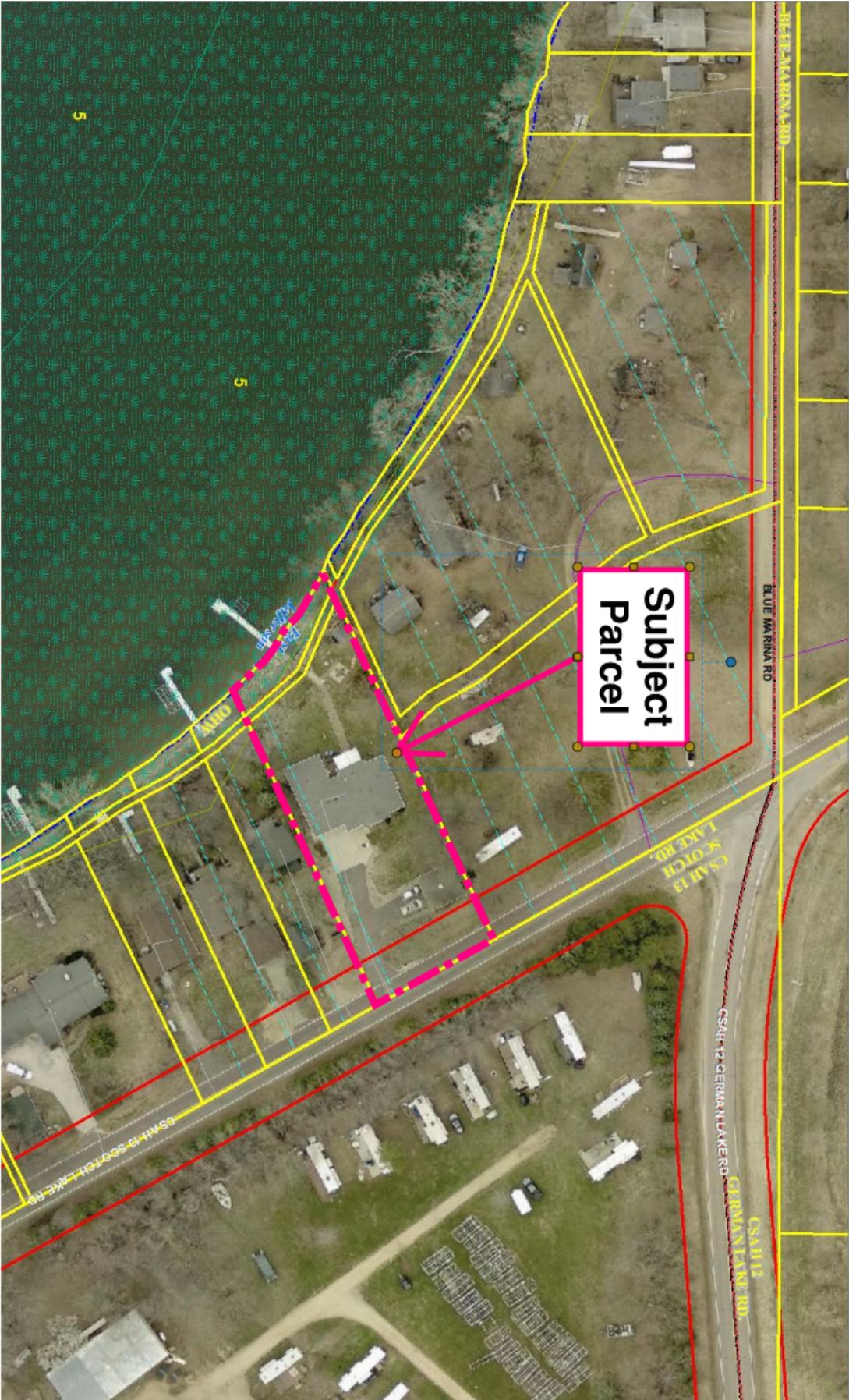
PRESERVING EXISTING VEGETATION

- Preserve existing trees, shrubs, sod, as much as possible.
- Removal of existing vegetation may require replacement.

WARNING! Extra measures may be needed if your site has:

- Areas with highly erodible soils.
- Areas within 300 feet of a river or stream or within 1,000 feet of a lake.
- Areas that are steeply sloped.
- Areas that receive stormwater or runoff from adjacent land.
- Areas located near any other sensitive features (ex: bluffs, wetlands, etc.).

Permits are valid for one year. Full restoration must be complete prior to the expiration date of the permit. For more information on appropriate measures for your site, please call the Le Sueur County Environmental Services Department at 507-357-8538.



VARIANCE STAFF REPORT

GENERAL INFORMATION

MEETING DATE: January 8, 2026

APPLICANT: Steve and Paula Haugdahl

OWNERS: Paula C Haugdahl Trust

911 ADDRESS: TBD Golf Course Road, St. Peter, MN 56082

VARIANCE REQUEST: Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a side yard lot line (Southerly) from 50 feet to 33 feet to accommodate a Single-Family Dwelling, and reduce the required setback to a side yard lot line (Easterly) from 50 feet to 20 feet to accommodate a 30' x 50' shed in a Conservancy "C" District.

VARIANCE NUMBER: BOA-001028-2025

PARCEL NUMBER: 05.023.9300

SITE INFORMATION

LOCATION: The subject property is in the NW 1/4 of the SW 1/4, Section 23, Kasota Township.

ZONING & PURPOSE: Conservancy "C" District

The Conservancy (C) District is established for areas that typically contain significant water courses and associated features such as bluffs, woods and flood plain that are best left mostly in existing natural ground cover. Dwellings, livestock production, and other intense land uses should be kept to a minimum.

GOALS AND POLICIES: The current Land Use Plan, adopted in 2007, makes reference to the preservation of significant bluff areas through its use of a Conservancy Zone.

GOAL #2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource areas.

Objective #1: The County should continue its preservation of significant bluff areas and river valleys through its use of a Conservancy Zone.

GENERAL SITE DESCRIPTION: Undeveloped lot, forested, bluff on northern portion of parcel

ACCESS: Proposed access from Golf Course Road (Easement from neighbors driveway)

BACKGROUND INFORMATION

The subject parcel was created in 1985. County records indicate the subject parcel was never developed. The lot is conforming by current Ordinance standards. The applicants intend to develop the subject parcel by constructing a single-family dwelling with an attached garage and a detached shed. The property has a significant amount of bluff. In order to meet the bluff setbacks, the dwelling and shed needed to go closer to the lot line. If approved, the variance would allow the new structures to be built with reduced setbacks to the side yard lot line (Easterly and Southerly).

ATTACHMENTS

Application, Description of Request, Survey (Proposed Conditions), Building Plans, LIDAR Map, Aerial Image, & Findings of Fact Form

FINDINGS

Staff findings per Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

- | 1. Variance: | Request: | Required: | Ordinance: | Page: |
|---|-----------------|------------------|--------------------------|--------------|
| a. Reduce Side Yard Setback: (Dwelling) | 33 feet | 50 feet | Section 7, Subdiv. 7. B. | 7-6 |
| b. Reduce Side Yard Setback: (Shed) | 20 feet | 50 feet | Section 7, Subdiv. 7. B. | 7-6 |
- The applicant is requesting the variance to build a new single-family dwelling and shed.
 - The subject parcel is conforming for lot size.

CONSIDERATIONS

- The following shall be considered at the hearing:
 - There are special circumstances or conditions affecting the land, structures or use referred to in the Variance.
 - Whether the granting of the application would be a detriment to the public health, safety, and general welfare or injurious to property or improvements in the area adjacent to the property of the applicant/landowner.
- Additional Considerations:**
 - The request is to accommodate the initial development of the subject parcel.
 - All proposed structures meet the required bluff setback of 50 feet, and the proposed septic system meets the required bluff setback of 30 feet.

PRACTICAL DIFFICULTY

The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on non-conformities.

- Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control.
- Variances shall only be permitted when the request is consistent with the comprehensive plan.
- Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control. Practical difficulties as used in connection with a variance means the following:
 - The property owner proposes to use the property in a reasonable manner not permitted by an official control.
 - The plight of the landowner is due to circumstances unique to the property not created by the landowner.
 - The variance, if granted, will not alter the essential character of the locality.
 - Economic considerations alone do not constitute practical difficulties.

ADDITIONAL REVIEW COMMENTS

1. This request was submitted to the County's Senior Planner, Jon Hammel, for review. Mr. Hammel stated the landowner has an approved 3-bedroom septic system design on file waiting to be issued concurrently with the dwelling permit.

PROPOSED FINDINGS

1. The official controls in the request are the required setback to a side yard lot line.
 - a. The setback from the side yard lot line is to prevent infringement of structures onto neighboring properties. For both the shed and dwelling, the neighboring properties are either vacant or have sufficient open space between them and the proposed structures. It is unlikely that the proposed structures will cause an impact to neighboring properties.
2. The Le Sueur County Comprehensive Plan (adopted in 2007) lists the protection of bluff areas in the Conservancy district in Goal #2, Objective 1. The applicant has revised their proposal so all structures and septic system meet the required bluff setback. This request appears to be consistent with the Comprehensive Plan.
3. This parcel has never been developed. The bluff represents a sensitive characteristic that would require additional consideration during development. The applicant has revised their site plan from an earlier plan and moved both of their proposed structures to meet the bluff setbacks and instead is requesting a side yard setback. This is less impactful compared to potential impacts to the sensitive feature of the bluff. This request appears to be a reasonable request not permitted by official controls.
4. This request is a result of significant bluff areas on a majority of the subject parcel. Through discussions with County staff, the request was revised to meet bluff setbacks and instead request a Variance to the side yard. Due to the amount of bluff on the property, this request appears to be unique circumstances to the property not created by the landowner.
5. The subject property has been an undeveloped lot for over sixty years. The essential character of the locality is rural, with scattered dwellings and Shoreland Country Club to the south. Approving the variance would not alter the essential character of the locality.
6. This request is related to improved personal use on an existing lot. The applicant is proposing to develop this property and build a single-family dwelling for personal use. The basis for this request does not appear to be exclusively economic in nature.

PROPOSED CONDITIONS

In granting any Variance, the Board of Adjustment may designate such conditions in connection that will secure substantially the objectives of the Ordinance, regulation or provision to which the application is granted. Conditions must be directly related to and bear a rough proportionally to the impact created by the Variance.

1. *If approved*, all necessary permits shall be issued and exterior construction completed **prior to January 8, 2026**, unless an extension is granted by the Board of Adjustment.
2. An extension must be requested in writing and filed with the Department at least 30 days prior to the Variance expiration.
3. *If approved*, the survey (submitted October 24, 2025) shall become a part of the permit. Any deviation from the submitted plans shall first be reviewed by the Department for determination of whether additional variances would be required.
4. *If approved, and prior to the commencement of any construction related activities*, a **Zoning Permit** shall be submitted and issued for the house and shed.



VARIANCE

LE SUEUR COUNTY
BOARD OF ADJUSTMENT

88 SOUTH PARK AVENUE
LE CENTER, MN 56057



Application Date:	<u>November 6, 2025</u>	Permit Number:	<u>BOA-001025-2025</u>	Fee:	<u>\$846.00</u>
60-Day Ruling Date:	<u>January 5, 2025- WAIVED</u>	911-Address:	<u>TBD Golf Course Road, St. Peter, MN 56082</u>		
Applicant(s):	<u>Steve and Paula Haugdahl</u>	Landowner(s):	<u>Paulua C Haugdahl Trust</u>		
Mailing Address:	<u>3853 90th St E</u>	Mailing Address:	<u>3853 90th St E</u>		
City:	<u>Inver Grove Heights</u>	City:	<u>Inver Grove Heights</u>		
State:	<u>MN</u>	Zip:	<u>55076</u>	State:	<u>MN</u>
Phone:	<u>612-290-9211</u>	Phone:	<u>612-919-8321</u>		
Email:	<u></u>				

Township:	<u>Kasota</u>	Parcel No.:	<u>05.023.9300</u>		
Section:	<u>23</u>	Subdivision:	<u></u>		
TWP #:	<u>110</u>	Lot #:	<u></u>	Zoning District:	<u>C</u>
Range#:	<u>26</u>	Block#:	<u></u>	FEMA Panel #:	<u>27079C0 235E</u>
1/4 - 1/4:	<u>NW/SW</u>	Road Type:	<u>CTY</u>	Flood Zone:	<u>X Outside</u>

I (We), the undersigned, owner(s) and/or applicant(s) of the property described herein, do hereby respectfully petition your Honorable Bodies to grant a Variance, as hereinafter designated, and in support thereof, the following facts are presented:

1.) Reason for the Requested Variance:

Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a side yard lot line (Southerly) from 50 feet to 33 feet to accommodate a new Single-Family Dwelling, and reduce the required setback to a side yard lot line (Easterly) from 50 feet to 20 feet to accommodate a 30' x 50' shed in a Conservancy "C" District.

2.) Reasons for approval or denial of the request are listed in the Findings of Fact.

3.) Special Conditions of the Variance:

Please see the Final Decision Notice for all Conditions related to this request.

 APPLICANT/PROPERTY OWNER

 LE SUEUR COUNTY PLANNING & ZONING AUTHORITY

 DATE
 12-10-2025

 DATE

**** ALL FEES ARE NON-REFUNDABLE****

ON-SITE TOUR DATE:	<u>January 8, 2026</u>	ACTION:	_____
PUBLIC HEARING DATE:	<u>January 8, 2026</u>		_____
	_____		_____
	_____		_____
AS WRITTEN		WITH CONDITIONS	

BOARD OF ADJUSTMENT CHAIR

DATE

VARIANCE FINDINGS OF FACT

Name of Applicant(s) or Landowner(s): Steve & Paula Haugdahl, Paula C Haugdahl Trust

Variance #: BOA-001028-2025

Variance Request: Requests the County grant a Variance from the Le Sueur County Zoning Ordinance to reduce the required setback to a side yard lot line (Southerly) from 50 feet to 33 feet to accommodate a new Single-Family Dwelling, and reduce the required setback to a side yard lot line (Easterly) from 50 feet to 20 feet to accommodate a 30' x 50' shed in a Conservancy "C" District.

A. The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on nonconformities.

B. No Variance may be granted that would allow any use that is prohibited in the Zoning District in which the subject property is located.

C. Facts supporting the answer to each question must be documented below, and are hereby certified to be the Findings of Fact of the Board of Adjustment.

D. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control and when the variances are consistent with the Comprehensive Plan.

Y N 1.) Is the variance in harmony with the general purpose and intent of the official control(s)?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 2.) Is the variance request consistent with the Comprehensive Land Use Plan?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

E. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control.

Y N 3.) Is the property owner proposing to use the property in a reasonable manner, not permitted by an official control?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 4.) Is the plight of the landowner due to circumstances unique to the property, and not created by the landowner?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 5.) Will the issuance of the variance maintain the essential character of the locality?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

Y N 6.) Does the alleged Practical Difficulty involve more than economic considerations?

 Jim M. John W. Colin H. Russell A. Jeanne D.

Finding: _____

F. IF THE BOARD OF ADJUSTMENT DETERMINES ALL OF THE ABOVE STANDARDS HAVE BEEN MET BY A SIMPLE MAJORITY, THEN THE STANDARD FOR IDENTIFYING A PRACTICAL DIFFICULTY HAS BEEN ESTABLISHED.

ACTION: APPROVED DENIED

CONDITION(S): _____

APPLICANT'S RESPONSE TO THE CONDITIONS: _____

BOARD OF ADJUSTMENT CHAIR

DATE

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057
Website: www.lesueurcounty.gov
Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov



Le Sueur County
ENVIRONMENTAL
SERVICES

Application - Variance

I. Applicant:

Name Steve and Paula Haugdahl
Mailing Address 3853 90th St E
City Inver Grove Heights State MN Zip 55076
Phone # 612-290-9211 Phone # 612-919-8321

II. Landowner:

Name Paula C Haugdahl Trust
Property Address same TBD Golf Course Road
City St Peter State MN Zip 56082
Phone # 612-919-8321 Phone # _____

III. Parcel Information:

Parcel Number R05.023.9300 Parcel Acreage 4.00
Township Kasota Section 23
Subdivision n/a Lot _____ Block _____

Full Legal Description must be attached.
(Full legal description can be found on deed, not abbreviated legal description from tax statement).

IV. Variance Request: List requested alternative to development standard(s).

Reduce south and east side yard set back from 50 feet.

V. Description of Request:

a. A full written description of the proposed variance request with detailed information must be attached.

VI. Township Notification:

Township must be notified prior to application. (County Commissioners are not the Township Board.)

Kasota Township notified on 10/3/25
(Township Name) (Date)

Board Member Daren Barfknecht regarding the proposed request.
(Name)

VII. Site Plan - Shall be a Certificate of Survey to include, but not limited to:

- North point
- Lakes
- Well
- Access
- Setbacks
- Rivers
- Septic System
- Easements
- Property lines
- Wetlands
- Proposed Structures
- Road Right-Of-Way
- Streams
- Existing structures - *Within and adjacent to project area.*
- Lot Dimensions
- Ponds
- Location of trees to be removed - *Shoreland Districts.*
- Impervious Surface
 - Required for *Shoreland, Business, & Industrial Districts.*
 - Itemized current & proposed impervious surfaces to include total percentages.
 - Examples include but are not limited to: *rooftops, sidewalks, patios, decks, driveways, parking lots, storage areas and concrete, asphalt, or gravel roads, or tightly compacted soils.*

Site shall be physically staked, then surveyed
Stakes shall be in place at the time of onsite visit/meeting, or the application will be tabled
Stakes must remain in place until construction commences

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057

Website: www.lesueurcounty.gov

Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov

Le Sueur County
**ENVIRONMENTAL
 SERVICES**

VIII. Practical Difficulty:

- A. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official controls in all cases when there are practical difficulties in the way of carrying out the strict letter of the official controls and when the terms of the variance are consistent with the comprehensive plan.
- B. An area variance may be granted only where the strict enforcement of the official controls will result in a practical difficulty.
- C. It is the responsibility of the applicant/landowner to provide evidence to prove a practical difficulty exists.
- D. A variance may be granted only in the event that the following circumstances are found to be true (or are answered in the affirmative, yes):

1. Is the variance in harmony with the general purposes and intent of the official controls?

Consideration: What standard (setback, structure size, etc.) are you asking to be modified? What is the intended purpose of that standard? How does your request meet the intended purpose?

We are requesting a variance from the standard set back from the front (south) property line from 50' to 33' to accommodate a house. We are additionally asking the same for the side (East) yard from 50' to 20' to accommodate a detached garage. This is to maintain the 50' bluff setback on the north side of the buildable area.

2. Is the request consistent with the comprehensive plan? *Consideration:* The County's Land Use Plan lists several goals (see attached). Does your request violate any of these listed goals? If so, what steps could be taken to off-set the impact(s) your request has on these goals?

To protect the bluff, shifting away to not encroach. Granting the variance to the East and South lot line setback shifts construction to not intrude the bluff. This will accomplish Goal #2, objective 1 of county land use goals and policies.

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the official controls? *Consideration:* Is the request reasonable based on the existing use of the property? Why? What County standard is keeping your request from being approved? How is the proposal reasonable in relation to the requirements of the zoning ordinance?

We are proposing to build a single family dwelling and detached garage. Due to the bluff on the property the buildable area has been limited. Our intention is to maintain the neighbors privacy along with protecting the bluff and existing woods.

ENVIRONMENTAL SERVICES

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SERVICES**

4. **Is the plight of the landowner due to circumstances unique to the property not created by the landowner?** *Consideration:* What unique characteristic does the property have that is making it impossible for your request to meet all County standards? Is the request the result of events outside the control of the landowner and not due to the landowner's previous decisions or actions?

This is a bluff occupying parcel. Due to the setback regulations and the shape of the buildable area we are not able to stay within the 50' setback area.

5. **Would the variance maintain the essential character of the locality?** *Consideration:* How would you describe the character of the neighborhood or surrounding area? If approved, would the end result of your request make your property appear different than those in the surrounding area?

underdeveloped now - The property is a fully wooded 4 acre parcel. There is only one neighboring house. If approved we would still maintain that neighbors privacy.

6. **Does the request involve more than economic considerations alone?** *Consideration:* Why are you seeking the variance? Would the request do more for you than add value to your property? If so, what?

We are seeking the variance to the lot line setbacks to protect the bluff. We are looking to develop the lot for our own personal use to enjoy the land.

IX. Attachments shall include but not limited to:

- Description of Request
- Site Plan(s) – Survey showing Existing & Proposed Conditions
- Surveyor Certification
- Township Notification – See Part VI
- Access Approval – Attached approval from the applicable road authority
- Full Legal Description – Not abbreviated description from tax statement
- Septic Compliance (if applicable)
- Floor Plans or Building Plans (if applicable)
- Erosion Control Form
- Erosion Control Plan

The Department may request additional information regarding the application.

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057
Website: www.lesueurcounty.gov
Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov



X. Quantities and Submittal Formats:

- a. One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- b. Electronic version of any supporting documents are preferred, *if available*.
- c. Additional copies may be requested as deemed necessary by the Department.

XI. Fees:

Variance: \$ 800
 Time Extension: \$ 600
 Filing Fee: \$ 46

Variance for Clusters: \$ 800 + \$200 per household
 Filing Fee: \$ 46

Additional Fees:

Special Meeting: \$1,500
 After-The-Fact meeting fee: Doubled + After-The-Fact Penalty.
 After-The-Fact Penalty: \$1,500 OR 10% of the improvement, whichever is greater.

*****Fees are non-refundable, and must be paid at the time of application*****

XII. Procedure: *See Section 22 of the Zoning Ordinance for full details.*

- a. A pre-application meeting is highly recommended. Please note, applications submitted without having a pre-application meeting may need to be delayed if the submitted application cannot be deemed complete prior to the required application deadline. **Please note that scheduling an Appointment for this meeting is required.**
- b. An application must be submitted either in person or electronically by the applicant and/or landowner no later than 2 P.M. on the date of application deadline.
- c. All required information must be submitted at the time of application, or the application may not be deemed complete.
- d. Incomplete applications shall be placed on Hold until such time all required information is submitted.
- e. **All fees shall be paid at the time of application.**
- f. Notification will be sent to all landowners within 500 feet of the affected property, (minimum of 10 landowners) as well as the affected Town Board, any municipality within 2 miles, and other applicable agencies.
- g. Notice will be published in the newspaper of general circulation in the area concerned and the official newspaper of the County.
- h. The Board of Adjustment may conduct an onsite visit to the affected property prior to the scheduled meeting. Any conversation with the Board of Adjustment during the onsite visit is prohibited.

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057

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Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov



Le Sueur County
**ENVIRONMENTAL
SERVICES**

- i. The Board of Adjustment shall hold a public hearing on the proposed Variance at a scheduled Board of Adjustment meeting.
- j. The applicant or a representative shall appear before the Board of Adjustment in order to answer questions concerning the request, or the application will be tabled.
- k. The Board of Adjustment has the authority to request additional information or impose conditions.
- l. The Board of Adjustment has the authority to determine Variance approval or denial. No Variance may be granted that allows any use that is prohibited in the Zoning District in which the property is located, unless that use is deemed a legal nonconforming use as defined by the Zoning Ordinance.
- m. The Department shall notify the applicant and/or landowner in writing of the Board of Adjustment decision.
- n. The Department will file a certified copy of any order or decision issued by the Board of Adjustment with the County Recorder.
- o. A Zoning Permit is required prior to starting construction; however, Zoning Permits will not be available the day of the Board of Adjustment meeting. A Zoning Permit application shall be approved prior to obtaining a Zoning Permit.

XIII. Signatures:

I hereby certify that I am either the owner of the subject property or have been authorized on behalf of the landowner to apply for this permit. I have read this application and swear the submitted information is true and correct. All provisions of the laws and ordinances governing this work will be complied with whether specified herein or not. I fully understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local laws regulating construction or the performance of construction. I understand the information I provided for this application will be utilized to determine suitability under the ordinances of Le Sueur County and any omissions or erroneous information provided may result in the permit not being issued. I also understand that by applying for this permit, I grant Le Sueur County Environmental Services Department staff authority to access the above property for inspections throughout the application and permitting process.

Applicant signature

10/24/2025
Date

Property Owner signature

10/24/25
Date

V. Description of Request

Description of Requested Variance

This request seeks approval for a variance from certain requirements outlined in the local zoning ordinance or regulations. The objective is to accommodate specific challenges and unique circumstances affecting the property, which make full compliance with existing rules impractical or unduly burdensome. Granting this variance will not undermine the intent or purpose of the regulations, nor will it negatively impact neighboring properties and will meet the goals and objectives of the County planning process.

Scope of the Variance

The requested variance concerns the modification of one or more of the following regulatory standards:

- Setback distance from the South property boundary to 33 ft from 50 ft
- Setback distance from the East property boundary to 20 ft from 50 ft

Rationale for Request

The reason for this variance stems from particular features of the property, such as its buildable area shape, 50 ft bluff set back, and other distinguishing conditions. This request does not seek to obtain special advantages, but rather to ensure fair and reasonable use of the property that aligns with County standards and avoids negative effects neighboring sites.

Anticipated Effects and Mitigation

If approved, the requested variance is expected to produce little to no adverse effects on surrounding properties or County objectives. Any possible impacts will be addressed with appropriate design solutions, landscaping, or other mitigation measures as determined by local authorities. The proposed change will maintain public safety, environmental stewardship, and neighborhood character.

DESCRIPTION OF RECORD

That part of the Northwest Quarter of the Southwest Quarter of Section 23, Township 110 North, Range 26 West, Le Sueur County, Minnesota, described as: Commencing at the Northwest Corner of the Northwest Quarter of the Southwest Quarter of said Section 23; thence South 00 degrees 00 minutes 00 seconds East (assumed bearing) on the West line of said Northwest Quarter of the Southwest Quarter, 657.51 feet to the Southwest Corner of the Northwest Quarter of the Southwest Quarter of the Southwest Quarter of said Section 23; thence South 89 degrees 41 minutes 47 seconds East on the South line of said Northwest Quarter of the Northwest Quarter of the Southwest Quarter, 659.00 feet to the Southeast Corner of said Northwest Quarter of the Northwest Quarter of the Southwest Quarter; thence South 00 degrees 02 minutes 06 seconds East on the East line of the Southwest Quarter of the Northwest Quarter of the Southwest Quarter of said Section 23, a distance of 658.48 feet to the Southeast Corner of said Southwest Quarter of the Northwest Quarter of the Southwest Quarter; thence South 89 degrees 36 minutes 47 seconds East on the South line of said Northwest Quarter of the Southwest Quarter, 241.98 feet to the point of beginning; thence North 00 degrees 04 minutes 12 seconds West, 417.43 feet; thence South 89 degrees 36 minutes 47 seconds East, 417.43 feet to the East line of said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 04 minutes 12 seconds East on said East line, 417.43 feet to the Southeast Corner of said Northwest Quarter of the Southwest Quarter; thence North 89 degrees 36 minutes 47 seconds West on the South line of said Northwest Quarter of the Southwest Quarter, 417.43 feet to the point of beginning. Said parcel contains 4.00 acres of land, more or less, and is subject to and together with any and all easements of record.

PROPOSED EASEMENT DESCRIPTION

A 50 foot wide strip of land over and across that part of the Southwest Quarter of the Southwest Quarter and that part of Government Lot 5 of Section 23, Township 110 North, Range 26 West, Le Sueur County, Minnesota, the centerline described as follows: Commencing at the northeast corner of said Southwest Quarter of the Southwest Quarter; thence North 89 degrees 06 minutes 15 seconds West (bearings based on Le Sueur County Coordinate System NAD83, 1996 Adjustment) on the north line of said Southwest Quarter of the Southwest Quarter, a distance of 98.00 feet; thence South 00 degrees 32 minutes 25 seconds West, a distance of 25.00 feet to the point of beginning of the centerline easement to be described; thence South 89 degrees 06 minutes 15 seconds East, a distance of 93.00 feet; thence South 00 degrees 32 minutes 25 seconds West, a distance of 492 feet, more or less and there terminating.



LEGEND

- 3/4" IRON PIPE MONUMENT SET MARKED BY LIC. NO. 46564
- MONUMENT FOUND
- SET LATH

SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Michael M. Eichers
 Michael M. Eichers
 License Number 46564
 Date 11/14/2024

- REVISED ORIGINAL SURVEY: 7-28-2025 SHED 30 X 50
- : 8-14-2025 18% BLUFF
- : 8-21-2025 50' BLUFF SETBACK
- : 8-29-2025 50' BLUFF SETBACK AREA
- : 9-30-2025 MOVED HOUSE AND SHED
- : 10-02-2025 MOVED HOUSE AND SHED

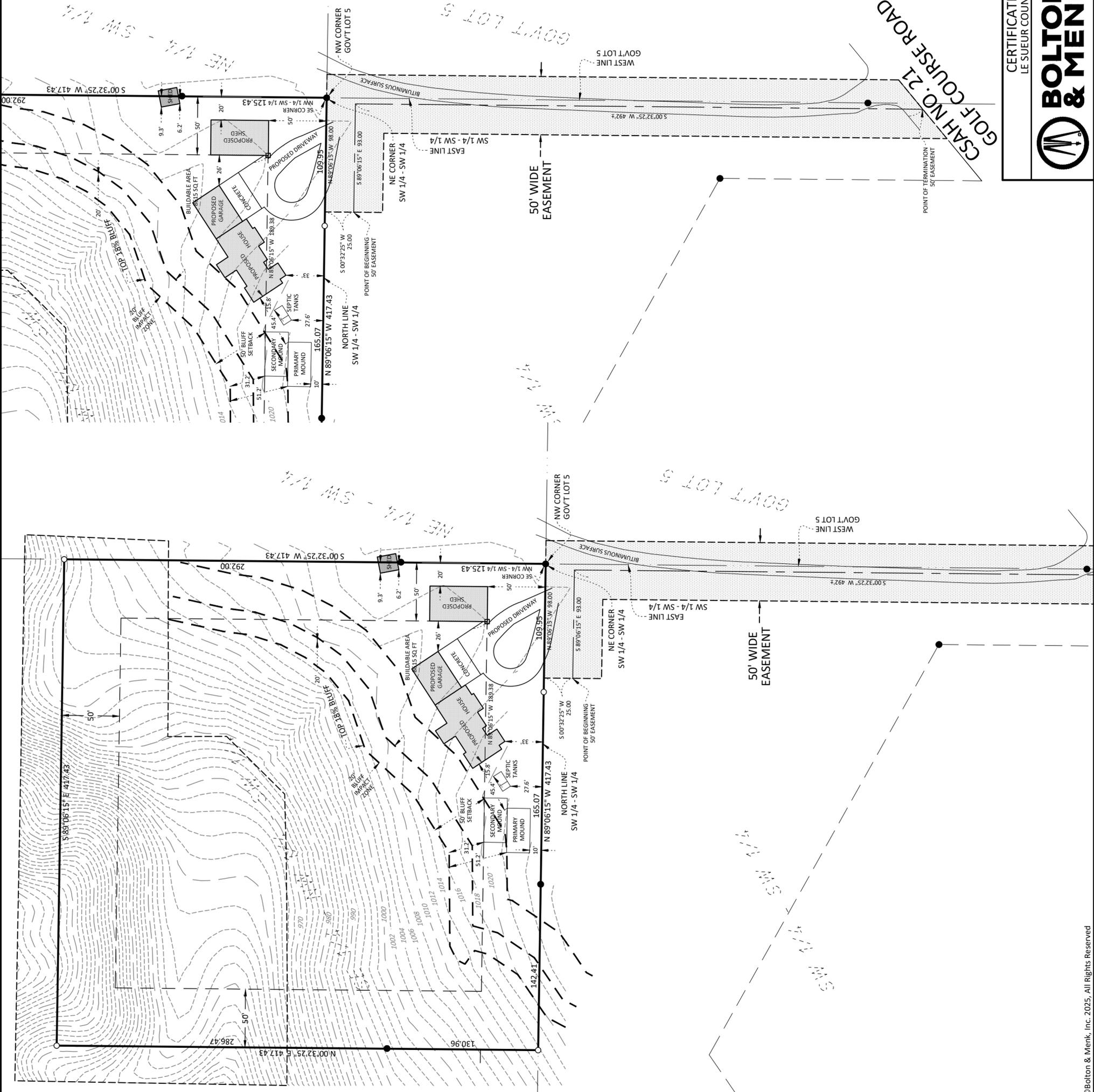
CERTIFICATE OF SURVEY
 LE SUEUR COUNTY, MINNESOTA

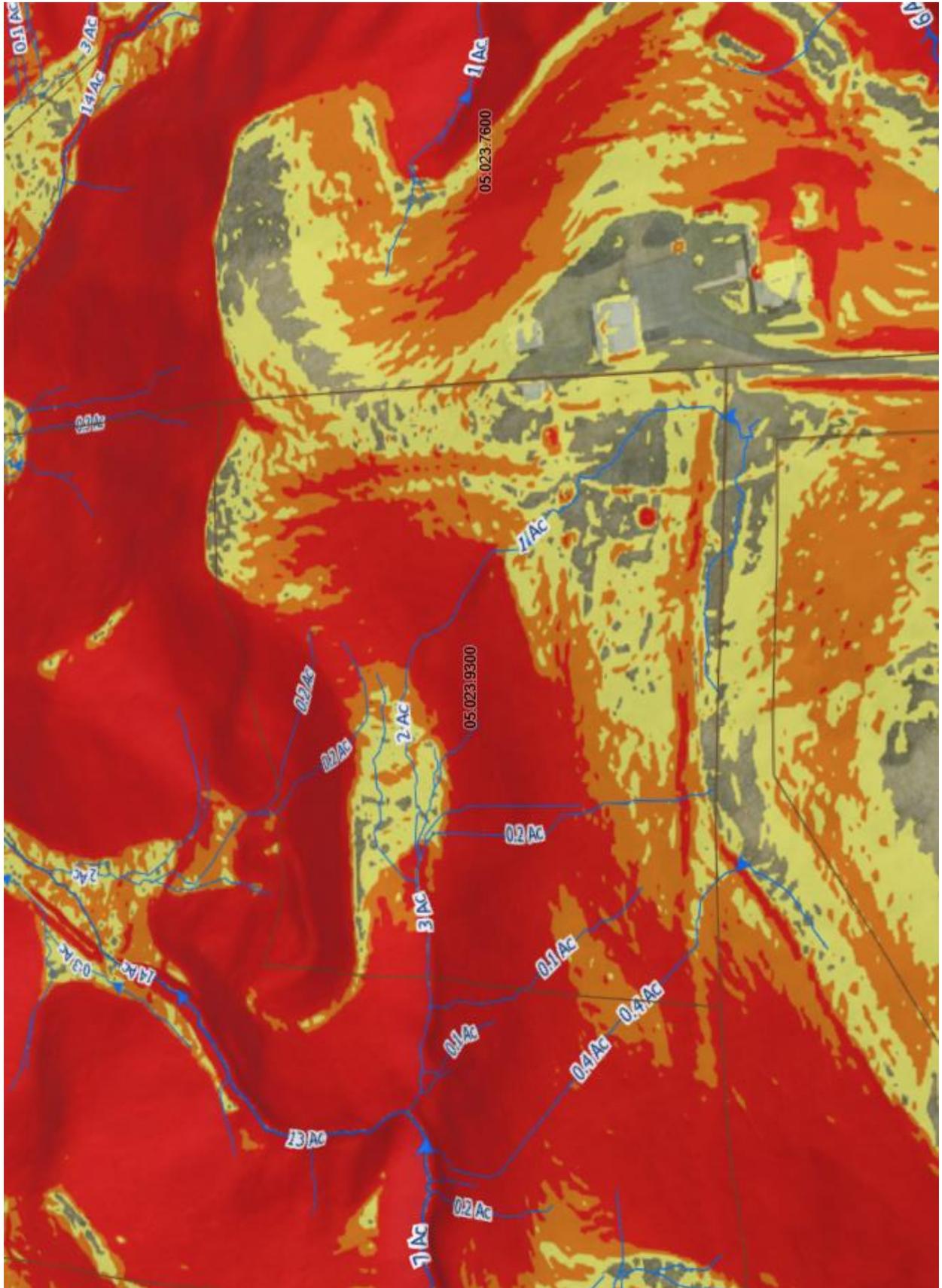


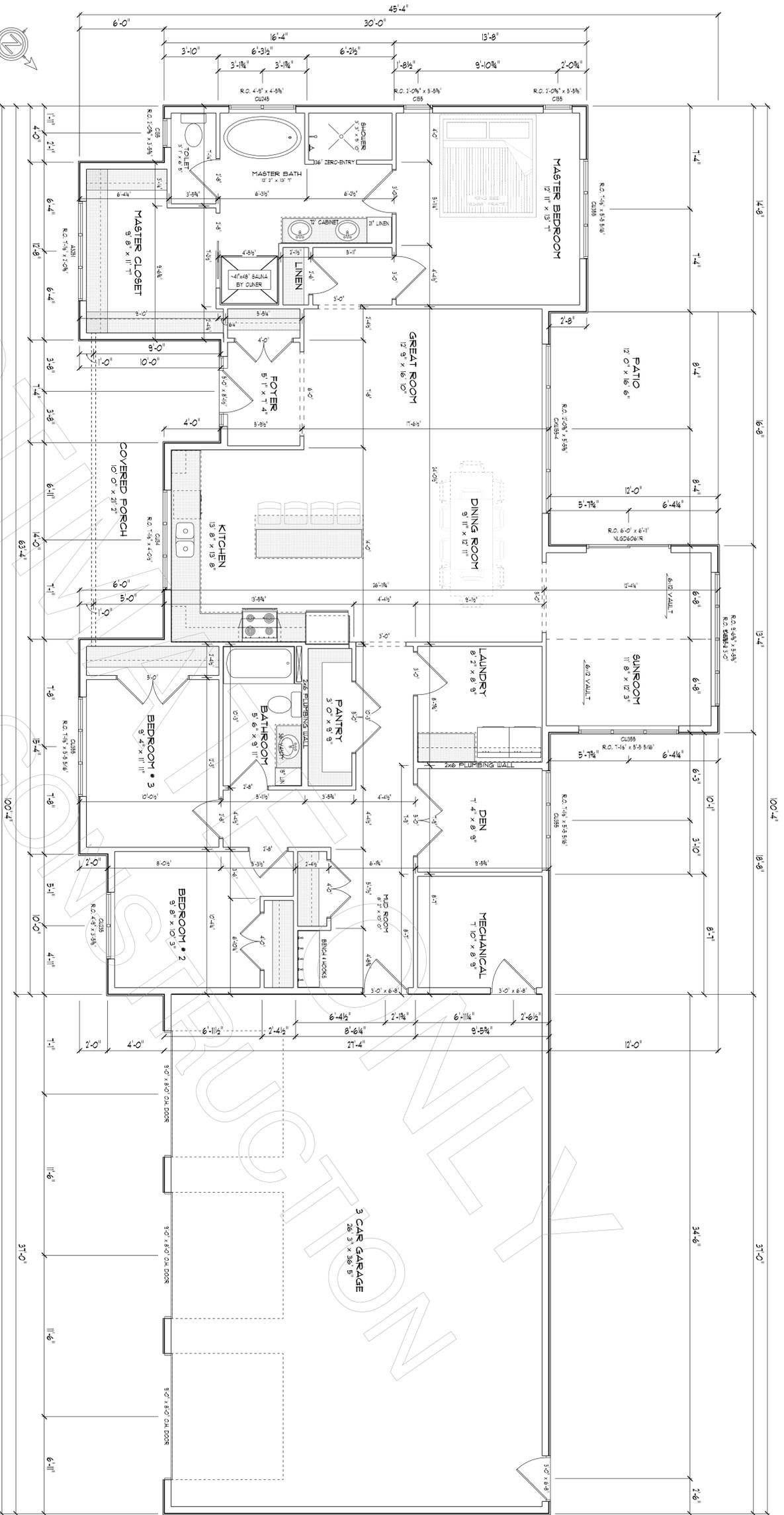
1960 PREMIER DRIVE
 MANKATO, MN 56001
 (507) 625-4171

FOR: STEVE HAUGDAHL

THAT PART OF THE SE 1/4 - NW 1/4 - SW 1/4 OF SECTION 23, TOWNSHIP 110 NORTH, RANGE 26 WEST, LE SUEUR COUNTY, MINNESOTA

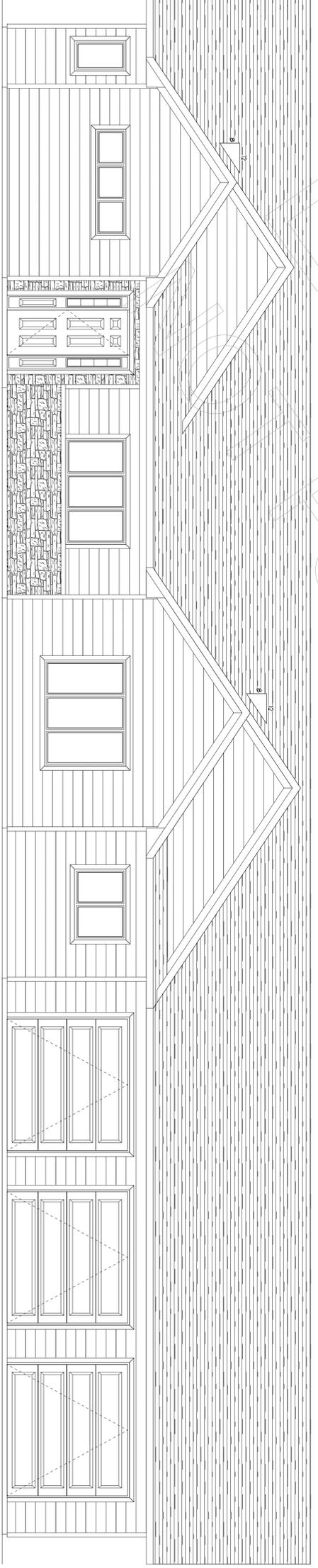






MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 69 FT. 2126.0 sq. ft.
 PLATE HEIGHT @ HOUSE: 9'-1 1/8"
 PLATE HEIGHT @ GARAGE: 10'-1 1/8"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DISCLAIMER OF WARRANTIES:
 Drawings and notes are prepared by the drafter and are not to be construed as a contract. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The drafter does not warrant the accuracy of the information provided in these drawings and notes. The contractor shall be responsible for verifying the accuracy of the information provided in these drawings and notes. The drafter shall not be held liable for any errors or omissions in these drawings and notes. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The drafter does not warrant the accuracy of the information provided in these drawings and notes. The contractor shall be responsible for verifying the accuracy of the information provided in these drawings and notes. The drafter shall not be held liable for any errors or omissions in these drawings and notes.

PROJECT INFO
HAUGDAHL

NEW CONSTRUCTION

GENERAL PLAN NOTES:
 1. EXISTING WALLS ARE INDICATED BY DASHED LINES AND NEW WALLS ARE INDICATED BY SOLID LINES.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. ALL FINISHES ARE TO BE DETERMINED BY THE OWNER.
 4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS AND NOTES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS AND NOTES.

DRAWN BY: ANK
Wednesday November 26, 2025
 C:\Users\ank\Desktop\112525\112525.dwg

DATE	DESCRIPTION
04/24/2025	ORIGINAL
05/05/2025	1
05/09/2025	2
05/12/2025	3
10/09/2025	4
11/25/2025	5

SHEET NO.
1

Paul & Steve Haugdahl
 Timberline Golf Course Rd
 Spring 2026

Lloyd Lumber Co.
 1860 Commerce Drive North Mankato, MN 56003
 Phone: (507) 625-4500 Fax: (507) 625-4504
 "Quality Building Products and Service"

VARIANCE STAFF REPORT

GENERAL INFORMATION

MEETING DATE: January 8,2025

APPLICANT: Sean McCaslin

OWNERS: McCaslin Properties LLC

911 ADDRESS: 14972 Sakatah Lake Road, Waterville, MN 56096

VARIANCE REQUEST: Request that the County grant a Variance from the Le Sueur County Zoning Ordinance to expand a nonconforming structure to accommodate a 24' x 32' attached garage and a 15 'x 20' attached office in a Recreational Commercial "RC" Shoreland District of Lake Sakatah, a Recreational Development "RD" Lake.

VARIANCE NUMBER: BOA-001042-2025

PARCEL NUMBER: 14.023.8000

SITE INFORMATION

LOCATION: The subject property is located in Government Lot 4, Section 23, Waterville Township.

ZONING & PURPOSE: Recreational Commercial "RC" Shoreland District

A District, adjacent to Recreational Development (RD) lakes, Natural Environment (NE) lakes, agricultural and transitional rivers and tributary streams, to provide suitable locations for, and to encourage the development of, water orientated commercial recreation facilities in those areas of Le Sueur County which benefit the recreational needs of both residents and tourists, to avoid land use conflicts with residential areas and restrict incompatible commercial and industrial uses.

GOALS AND POLICIES: The current Land Use Plan, adopted in 2007, makes reference to the protection of natural resources and improvement of water quality.

GOAL #2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource areas.

Objective #2: Utilize shorelands on Recreational Development Lakes (RD) for housing, but with a focus on development design that protects the resource.

GENERAL SITE DESCRIPTION: Recreational Campground of Lake Sakatah

ACCESS: Existing access from Sakatah Lake Road

LAKE: Lake Sakatah, a Recreational Development (RD) Lake

Recreational Development Lake - Lakes that usually have between sixty (60) and two hundred twenty-five (225) acres of water per mile of shoreline, between three (3) and twenty-five (25) dwellings per mile of shoreline and are more than fifteen (15) feet deep.

RFPE: Regulatory Flood Protection Elevation: 1005.2 Lowest floor must be at or above RFPE.

BACKGROUND INFORMATION

The subject parcel is a campground that began in approximately 1966. When the existing dwelling was constructed, the road setback was less restrictive. The dwelling does not meet the current road setback of 100 feet, therefore the dwelling is considered a nonconforming structure. The residential lot is considered a conforming parcel because it meets the required Lot Area and Lot Width requirements of the applicable Zoning District. The existing dwelling, detached garage, and detached office were damaged in a fire in September of 2025. The applicant is proposing to repair the dwelling and attach the office and garage. The applicant has stated the proposal will increase the parking area between the garage and pool as there is often parking space issues in between the structures.

ATTACHMENTS

Application, Scaled Site Plan, Building Plans, LIDAR Map, Aerial Image, & Findings of Fact Form

FINDINGS

Staff findings per Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

<u>1. Variance:</u>	<u>Request:</u>	<u>Required:</u>	<u>Ordinance:</u>	<u>Page:</u>
a. Expand Nonconforming Structure			Section 24, Subdiv. 6. B. 1.	24-2
2. The applicant is requesting the variance to construct an attached garage and office.				
3. The subject parcel is a conforming Lot.				
4. The applicant is rebuilding structures that were either damaged or destroyed by fire in September of 2025.				

CONSIDERATIONS

1. The following shall be considered at the hearing:
 - a. There are special circumstances or conditions affecting the land, structures or use referred to in the Variance.
 - b. Whether the granting of the application would be a detriment to the public health, safety, and general welfare or injurious to property or improvements in the area adjacent to the property of the applicant/landowner.
2. **Additional Considerations:**
 - a. The proposed dwelling additions are not going closer to the road than the existing dwelling. The proposed additions were measured and verified by County staff as meeting the required 100 foot road Right-of-Way setback.

PRACTICAL DIFFICULTY

The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on non-conformities.

1. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control.
2. Variances shall only be permitted when the request is consistent with the comprehensive plan.
3. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control. Practical difficulties as used in connection with a variance means the following:
 - a. The property owner proposes to use the property in a reasonable manner not permitted by an official control.
 - b. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
 - c. The variance, if granted, will not alter the essential character of the locality.
 - d. Economic considerations alone do not constitute practical difficulties.

ADDITIONAL REVIEW COMMENTS

1. This request was submitted to the County's Environmental Health Specialist, Andrew Nicolin, for review. Mr. Nicolin stated the following: After speaking to Sean and reviewing the information provided, we don't see any issues on setbacks. The proposed structure will resolve a violation with the well being too close to the old garage.
2. This request was submitted to the County's Senior Planner, Jon Hammel, for review. Mr. Hammel stated the following: The property does not have a valid Septic Compliance Inspection (CI) on file. The last CI on file is from 2011. There are 4 systems on the property. The new CI will be required to include all 4 systems on the property. Soil observations cannot be done at this time due to frozen ground conditions. A CI shall be submitted in the spring, no later than June 1st.

PROPOSED FINDINGS

1. The official controls in the request are the expansion of a Nonconforming structure.
 - a. The subject property is a conforming lot, and the existing dwelling was built closer to the road Right-of-Way (ROW) than what is allowed under the current standards. Whenever nonconforming structures are expanded, a variance is required and steps should be taken to bring the lot into compliance with current regulations. In this request, the applicant is proposing to rebuild a previously detached garage and office as attached onto the existing dwelling. The garage and office were completely destroyed and the house damaged by a fire in September of 2025. No part of the project is getting closer to the road ROW than what is currently existing. The proposed addition meets required setbacks. It appears that the proposed additions would be in harmony with the general purposes and intent of the official controls.
2. The Le Sueur County Comprehensive Plan (adopted in 2007) lists the protection of natural resources and improving water quality as two of its goals. The proposed dwelling additions will not be getting any closer to the sensitive feature of the lake, and would not add any additional hard-surface and cause runoff issues. This request appears to be consistent with the comprehensive plan.
3. This area was originally developed in the 1960's. In that time, there have been no reported issues with the existing dwelling on the campground. Attaching the garage and office to the dwelling are will resolve traffic congestion and a parking issue in this area. The proposed additions meet the required 100 foot road ROW setback. This appears to be a reasonable request not permitted by official controls.
4. This request is a result of changing standards in the County's Zoning Ordinance. This area was developed in the 1960's. Since that time, minimum standards have been created or increased for road ROW setbacks. For these reasons the dwelling is considered to be a lawful non-conforming structure. This request appear to be due to circumstances unique to the property not created by the landowner.
5. The subject property has been a campground lot for over sixty years. The essential character of the locality is residential and commercial. The applicant is proposing to rebuild the two structures but attach to the existing dwelling. This appears to maintain the essential character of the locality.
6. This request is related to improved personal use on an existing Lot. The existing structures and dwelling were damaged by fire, and the applicant is looking to rebuild and repair. The basis for this request does not appear to be exclusively economic in nature.

PROPOSED CONDITIONS

In granting any Variance, the Board of Adjustment may designate such conditions in connection that will secure substantially the objectives of the Ordinance, regulation or provision to which the application is granted. Conditions must be directly related to and bear a rough proportionally to the impact created by the Variance.

1. *If approved*, all necessary permits shall be issued and exterior construction completed **prior to** January 8, 2027, unless an extension is granted by the Board of Adjustment.
2. An extension must be requested in writing and filed with the Department at least 30 days prior to the Variance expiration.
3. *If approved*, the scaled site plan (created December 9, 2025, and signed by applicant December 11, 2025) shall become a part of the permit. Any deviation from the submitted plans shall first be reviewed by the Department for determination of whether additional variances would be required.
4. *If approved, and prior to the commencement of any construction related activities*, a **Zoning Permit** shall be submitted and issued for the dwelling, attached garage, and office.
5. *If approved*, the landowner shall submit a compliance inspection no later than June 1, 2026. The inspection shall be completed by a state licensed septic inspector and must include all septic systems on the property.



VARIANCE

LE SUEUR COUNTY
BOARD OF ADJUSTMENT

88 SOUTH PARK AVENUE
LE CENTER, MN 56057



Application Date:	<u>December 9, 2025</u>	Permit Number:	<u>BOA-001042-2025</u>	Fee:	<u>\$846.00</u>
60-Day Ruling Date:	<u>February 6, 2026</u>	911-Address:	<u>14972 Sakatah Lake Road, Waterville, MN 56096</u>		
Applicant(s):	<u>Sean McCaslin</u>	Landowner(s):	<u>McCaslin Properties LLC</u>		
Mailing Address:	<u>PO Box 164</u>	Mailing Address:	<u>14972 Sakatah Lake Rd</u>		
City:	<u>Waterville</u>	City:	<u>Waterville</u>		
State:	<u>MN</u>	State:	<u>MN</u>	Zip:	<u>56096</u>
Phone:	<u>507-421-5175</u>	Phone:	<u>507-421-5175</u>		
Email:	_____	Email:	_____		

Township:	<u>Waterville</u>	Parcel No.:	<u>14.023.8000</u>		
Section:	<u>23</u>	Subdivision:	_____		
TWP #:	<u>109</u>	Lot #:	_____	Zoning District:	<u>RC</u>
Range#:	<u>23</u>	Block#:	_____	FEMA Panel #:	<u>27079C0 427E</u>
1/4 - 1/4:	<u>SW/SW</u>	Road Type:	<u>CTY</u>	Flood Zone:	<u>X Outside</u>

I (We), the undersigned, owner(s) and/or applicant(s) of the property described herein, do hereby respectfully petition your Honorable Bodies to grant a Variance, as hereinafter designated, and in support thereof, the following facts are presented:

1.) Reason for the Requested Variance:

Request the County grant a Variance from the Le Sueur County Zoning Ordinance to expand a nonconforming structure to accommodate a 24' x 32' attached garage and a 15' x 20' attached office in a Recreational Commercial "RC" Shoreland District of Lake Sakatah, a Recreational Development "RD" Lake.

2.) Reasons for approval or denial of the request are listed in the Findings of Fact.

3.) Special Conditions of the Variance:

Please see the Final Decision Notice for all Conditions related to this request.

 APPLICANT/PROPERTY OWNER


 LE SUEUR COUNTY PLANNING & ZONING AUTHORITY

 DATE
 December 29, 2025

 DATE

**** ALL FEES ARE NON-REFUNDABLE****

ON-SITE TOUR DATE:	<u>January 8, 2026</u>	ACTION:	_____
PUBLIC HEARING DATE:	<u>January 8, 2026</u>		_____
	_____		_____
	_____		_____
AS WRITTEN		WITH CONDITIONS	

 BOARD OF ADJUSTMENT CHAIR

 DATE

VARIANCE FINDINGS OF FACT

Name of Applicant(s) or Landowner(s): Sean McCaslin

Variance #: BOA-001042-2025

Variance Request: Request the County grant a Variance from the Le Sueur County Zoning Ordinance to expand a nonconforming structure to accommodate a 24' x 32' attached garage and a 15' x 20' attached office in a Recreational Commercial "RC" Shoreland District of Lake Sakatah, a Recreational Development "RD" Lake.

A. The Board of Adjustment shall have the exclusive power to order the issuance of variances from the requirements of any official control including restrictions placed on nonconformities.

B. No Variance may be granted that would allow any use that is prohibited in the Zoning District in which the subject property is located.

C. Facts supporting the answer to each question must be documented below, and are hereby certified to be the Findings of Fact of the Board of Adjustment.

D. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official control and when the variances are consistent with the Comprehensive Plan.

Y N 1.) Is the variance in harmony with the general purpose and intent of the official control(s)?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

Y N 2.) Is the variance request consistent with the Comprehensive Land Use Plan?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

E. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the official control.

Y N 3.) Is the property owner proposing to use the property in a reasonable manner, not permitted by an official control?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

Y N 4.) Is the plight of the landowner due to circumstances unique to the property, and not created by the landowner?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

Y N 5.) Will the issuance of the variance maintain the essential character of the locality?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

Y N 6.) Does the alleged Practical Difficulty involve more than economic considerations?

<input type="checkbox"/>				
Jim M.	John W.	Colin H.	Russell A.	Jeanne D.

Finding: _____

F. IF THE BOARD OF ADJUSTMENT DETERMINES ALL OF THE ABOVE STANDARDS HAVE BEEN MET BY A SIMPLE MAJORITY, THEN THE STANDARD FOR IDENTIFYING A PRACTICAL DIFFICULTY HAS BEEN ESTABLISHED.

ACTION: APPROVED DENIED

CONDITION(S): _____

APPLICANT'S RESPONSE TO THE CONDITIONS: _____

BOARD OF ADJUSTMENT CHAIR

DATE

ENVIRONMENTAL SERVICES

88 South Park Avenue, Le Center MN 56057

Website: www.lesueurcounty.gov

Phone: 507-357-8538 Email: EnvServices@lesueurcounty.gov



Le Sueur County
ENVIRONMENTAL
SERVICES

Application – Variance

I. Applicant:

Name SEAN McCASLIN
 Mailing Address PO BOX 164
 City Waterville State MN Zip 56096
 Phone # 507421 5175 Phone # _____

II. Landowner:

Name McCasin Properties LLC
 Property Address 14972 Sakatah Lake RD
 City Waterville State MN Zip 56096
 Phone # 507421 5175 Phone # _____

III. Parcel Information:

Parcel Number 14.023.8000 Parcel Acreage 12.0
 Township Waterville Section 23-109-023
 Subdivision _____ Lot _____ Block _____

Full Legal Description must be attached.

(Full legal description can be found on deed, not abbreviated legal description from tax statement).

IV. Variance Request: List requested alternative to development standard(s).

Expanding a non conforming structure

V. Description of Request:

a. A full written description of the proposed variance request with detailed information must be attached.

VI. Township Notification:

Township must be notified prior to application. *(County Commissioners are not the Township Board.)*

Waterville Township notified on 12-9-2025
(Township Name) (Date)

Board Member Traci Murphy regarding the proposed request. 507
(Name)

VII. Site Plan - Shall be a Certificate of Survey to include, but not limited to:

- North point
- Setbacks
- Property lines
- Road Right-Of-Way
- Lot Dimensions
- Lakes
- Rivers
- Wetlands
- Streams
- Ponds
- Well
- Septic System
- Proposed Structures
- Existing structures - *Within and adjacent to project area.*
- Location of trees to be removed - *Shoreland Districts.*
- Access
- Easements
- Impervious Surface
 - Required for *Shoreland, Business, & Industrial Districts.*
 - Itemized current & proposed impervious surfaces to include total percentages.
 - Examples include but are not limited to: *rooftops, sidewalks, patios, decks, driveways, parking lots, storage areas and concrete, asphalt, or gravel roads, or tightly compacted soils.*

Site shall be physically staked, then surveyed

Stakes shall be in place at the time of onsite visit/meeting, or the application will be tabled

Stakes must remain in place until construction commences

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VIII. Practical Difficulty:

- A. Variances shall only be permitted when they are in harmony with the general purposes and intent of the official controls in all cases when there are practical difficulties in the way of carrying out the strict letter of the official controls and when the terms of the variance are consistent with the comprehensive plan.
- B. An area variance may be granted only where the strict enforcement of the official controls will result in a practical difficulty.
- C. It is the responsibility of the applicant/landowner to provide evidence to prove a practical difficulty exists.
- D. A variance may be granted only in the event that the following circumstances are found to be true (or are answered in the affirmative, yes):

1. Is the variance in harmony with the general purposes and intent of the official controls?

Consideration: What standard (setback, structure size, etc.) are you asking to be modified? What is the intended purpose of that standard? How does your request meet the intended purpose?

Looking to move the garage so its attached to the house, will not be building any close to road or set back,

2. Is the request consistent with the comprehensive plan? *Consideration:* The County's Land Use Plan lists several goals (see attached). Does your request violate any of these listed goals? If so, what steps could be taken to off-set the impact(s) your request has on these goals?

House is Existing from 1950's not looking to go any closer to set back, will not be any closer to the lake setback, would not impact the sensitive feature of the lake

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the official controls? *Consideration:* Is the request reasonable based on the existing use of the property? Why? What County standard is keeping your request from being approved? How is the proposal reasonable in relation to the requirements of the zoning ordinance?

How is Existing from 1950's and we are not going any closer to set back

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4. **Is the plight of the landowner due to circumstances unique to the property not created by the landowner?** *Consideration:* What unique characteristic does the property have that is making it impossible for your request to meet all County standards? Is the request the result of events outside the control of the landowner and not due to the landowner's previous decisions or actions?

3

Due to fire the garage was destroyed & looking to attach garage to existing structure

5. **Would the variance maintain the essential character of the locality?** *Consideration:* How would you describe the character of the neighborhood or surrounding area? If approved, would the end result of your request make your property appear different than those in the surrounding area?

Structure is in the campground and all siding & structures will match existing buildings

6. **Does the request involve more than economic considerations alone?** *Consideration:* Why are you seeking the variance? Would the request do more for you than add value to your property? If so, what?

Due to fire we would be rebuilding structure. House is gutted and garage would be attaching to house, along with office space

IX. Attachments shall include but not limited to:

- | | |
|--|---|
| <input type="radio"/> Description of Request | <input type="radio"/> Septic Compliance (if applicable) <i>June</i> |
| <input type="radio"/> Site Plan(s) – Survey showing Existing & Proposed Conditions | <input type="radio"/> Floor Plans or Building Plans (if applicable) |
| <input type="radio"/> Surveyor Certification <i>X</i> | <input type="radio"/> Erosion Control Form |
| <input type="radio"/> Township Notification – See Part VI | <input type="radio"/> Erosion Control Plan |
| <input type="radio"/> Access Approval – Attached approval from the applicable road authority | |
| <input type="radio"/> Full Legal Description – Not abbreviated description from tax statement <i>Rec'd</i> | |

The Department may request additional information regarding the application.

X. Quantities and Submittal Formats:

- a. One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- b. Electronic version of any supporting documents are preferred, *if available*.
- c. Additional copies may be requested as deemed necessary by the Department.

XI. Fees:

Variance: \$ 800
 Time Extension: \$ 600
 Filing Fee: \$ 46

Variance for Clusters: \$ 800 + \$200 per household
 Filing Fee: \$ 46

Additional Fees:

Special Meeting: \$1,500
 After-The-Fact meeting fee: Doubled + After-The-Fact Penalty.
 After-The-Fact Penalty: \$1,500 OR 10% of the improvement, whichever is greater.

*****Fees are non-refundable, and must be paid at the time of application*****

XII. Procedure: *See Section 22 of the Zoning Ordinance for full details.*

- a. A pre-application meeting is highly recommended. Please note, applications submitted without having a pre-application meeting may need to be delayed if the submitted application cannot be deemed complete prior to the required application deadline. **Please note that scheduling an Appointment for this meeting is required.**
- b. An application must be submitted either in person or electronically by the applicant and/or landowner no later than 2 P.M. on the date of application deadline.
- c. All required information must be submitted at the time of application, or the application may not be deemed complete.
- d. Incomplete applications shall be placed on Hold until such time all required information is submitted.
- e. **All fees shall be paid at the time of application.**
- f. Notification will be sent to all landowners within 500 feet of the affected property, (minimum of 10 landowners) as well as the affected Town Board, any municipality within 2 miles, and other applicable agencies.
- g. Notice will be published in the newspaper of general circulation in the area concerned and the official newspaper of the County.
- h. The Board of Adjustment may conduct an onsite visit to the affected property prior to the scheduled meeting. Any conversation with the Board of Adjustment during the onsite visit is prohibited.

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- i. The Board of Adjustment shall hold a public hearing on the proposed Variance at a scheduled Board of Adjustment meeting.
- j. The applicant or a representative shall appear before the Board of Adjustment in order to answer questions concerning the request, or the application will be tabled.
- k. The Board of Adjustment has the authority to request additional information or impose conditions.
- l. The Board of Adjustment has the authority to determine Variance approval or denial. No Variance may be granted that allows any use that is prohibited in the Zoning District in which the property is located, unless that use is deemed a legal nonconforming use as defined by the Zoning Ordinance.
- m. The Department shall notify the applicant and/or landowner in writing of the Board of Adjustment decision.
- n. The Department will file a certified copy of any order or decision issued by the Board of Adjustment with the County Recorder.
- o. A Zoning Permit is required prior to starting construction; however, Zoning Permits will not be available the day of the Board of Adjustment meeting. A Zoning Permit application shall be approved prior to obtaining a Zoning Permit.

XIII. Acknowledgement:

I understand that Le Sueur County will never request payment from applicants via wire transfer, gift cards, cryptocurrency, or any other unconventional or insecure method. Any such request should be considered fraudulent and treated as a scam.

If I receive a suspicious communication claiming to be from Le Sueur County and asking for payment, I will not respond or send any money. Instead, I will immediately report the incident to Le Sueur Environmental Services Department and to the appropriate authorities, such as the Federal Trade Commission (FTC) or local law enforcement.

By signing below, I acknowledge this policy and agree to remain vigilant against potential scams.

XIV. Signatures:

I hereby certify that I am either the owner of the subject property or have been authorized on behalf of the landowner to apply for this permit. I have read this application and swear the submitted information is true and correct. All provisions of the laws and ordinances governing this work will be complied with whether specified herein or not. I fully understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local laws regulating construction or the performance of construction. I understand the information I provided for this application will be utilized to determine suitability under the ordinances of Le Sueur County and any omissions or erroneous information provided may result in the permit not being issued. I also understand that by applying for this permit, I grant Le Sueur County Environmental Services Department staff authority to access the above property for inspections throughout the application and permitting process.


Applicant signature

12-9-2025
Date


Property Owner signature

12-9-2025
Date

Variance request

On September 9th 2025 the resort had a major fire. It appears that the fire started in the garage and destroyed the garage, office building and part of the house. In the rebuilding process I am trying to consolidate everything into one structure. This would alleviate parking restraints and a “pinch point’ getting campers in and out of the resort.

The plan is to attach the garage and office to the house as shown in the plans. This would move the garage back approx. 12-15ft from where it currently was. Attached are the pictures to show the tightness in the area.



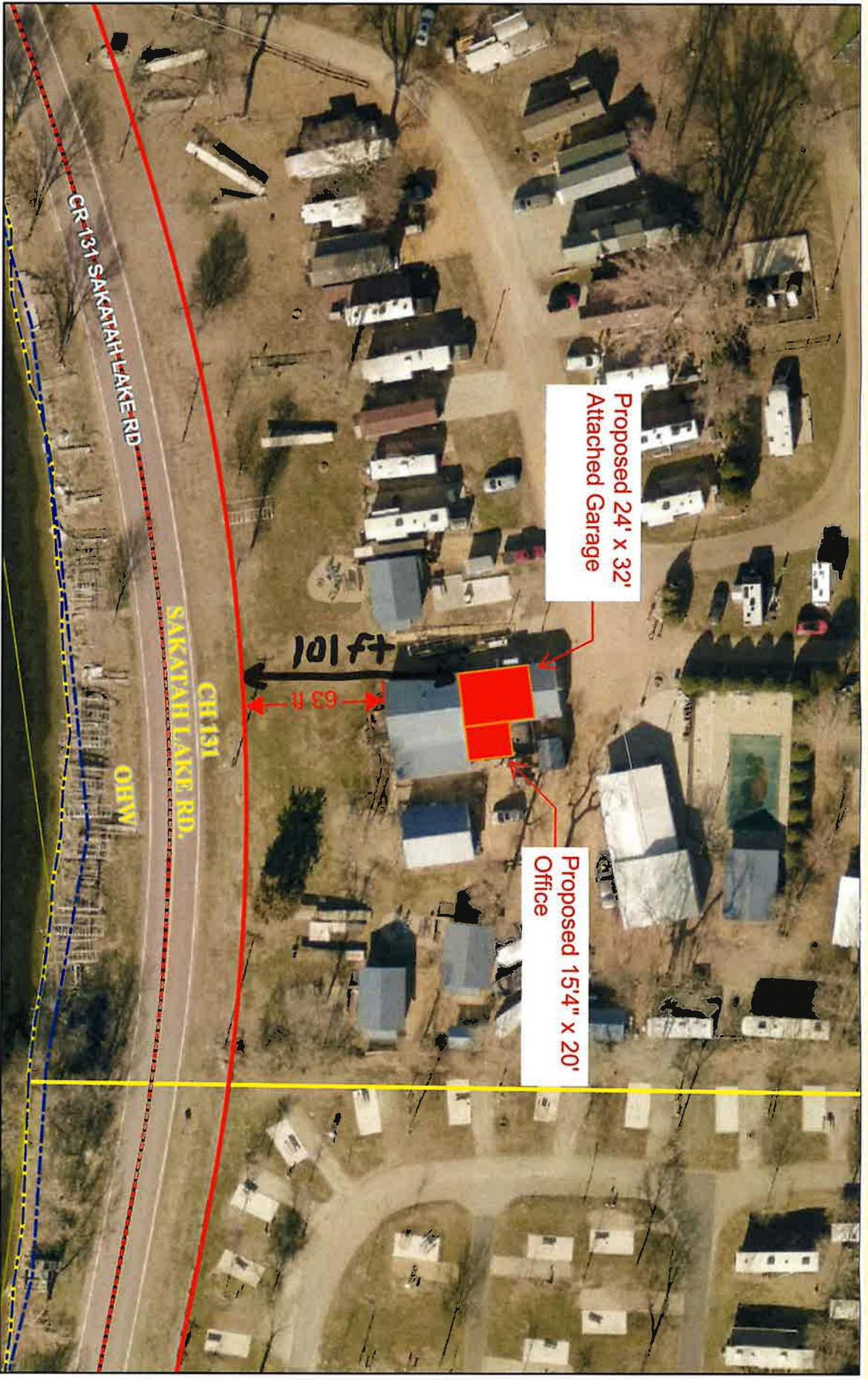
Old
Garage

Typical Saturday

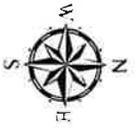


Alternate IDn/a
Class 021 - HMSTD DECODE

LE SUEUR COUNTY ENVIRONMENTAL SERVICES



1 inch equals 64 feet



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Map Disclaimer

Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation. However, a degree of error is inherent in all maps. These maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.

*The maps are date specific and are intended for use only at the published scale.
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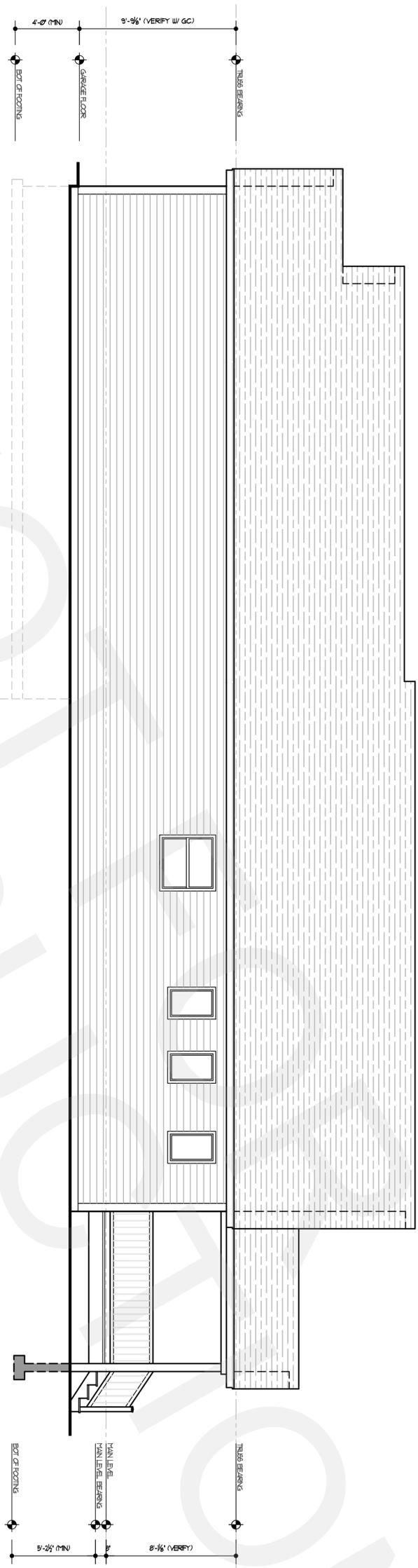
Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet



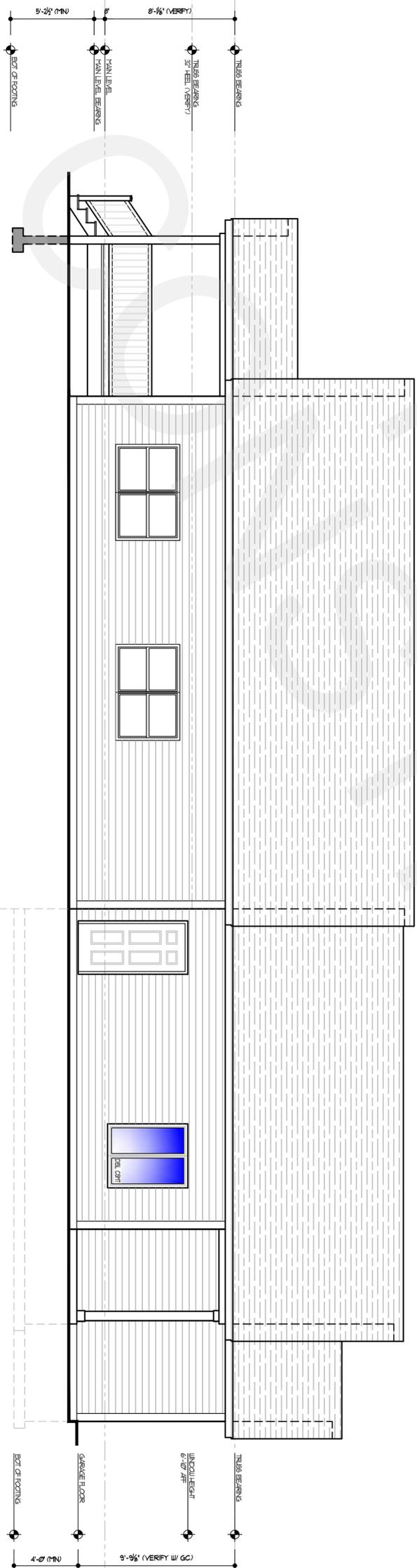
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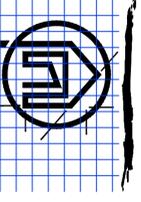
WATERVILLE, MN



2 WEST (REAR) ELEV
 SCALE: 1/4"=1'-0" (22" x 34")
 SCALE: HALF SCALE (11" x 17")



1 EAST (FRONT) ELEV
 SCALE: 1/4"=1'-0" (22" x 34")
 SCALE: HALF SCALE (11" x 17")



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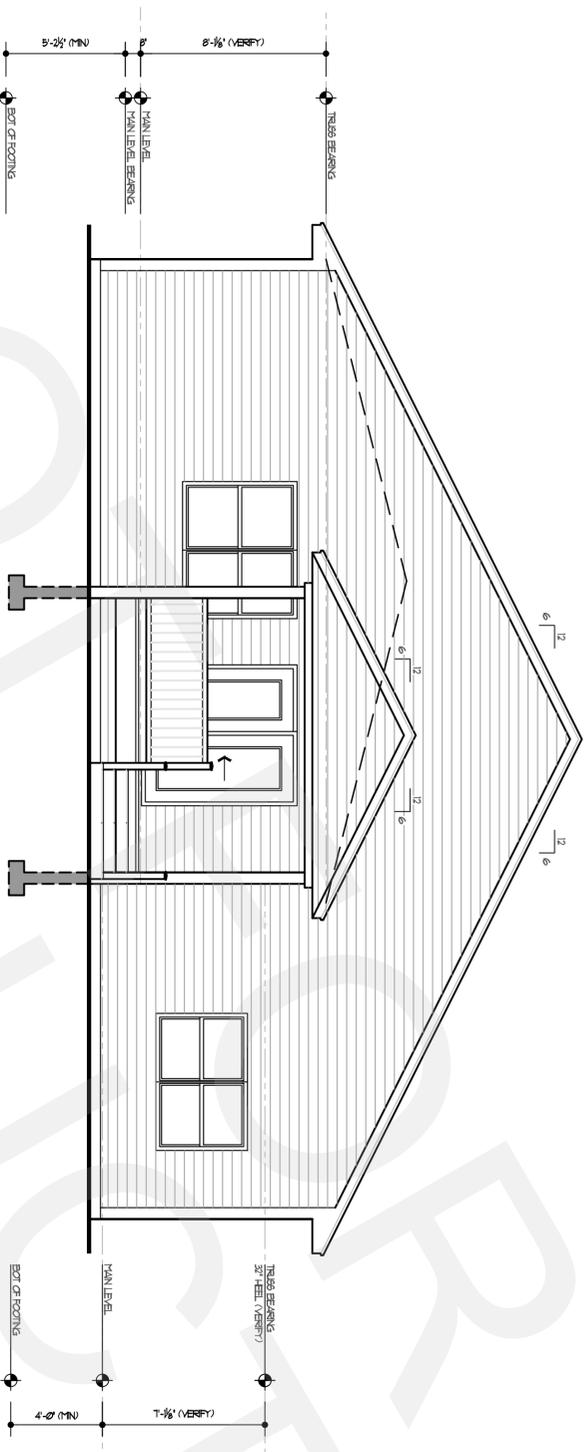
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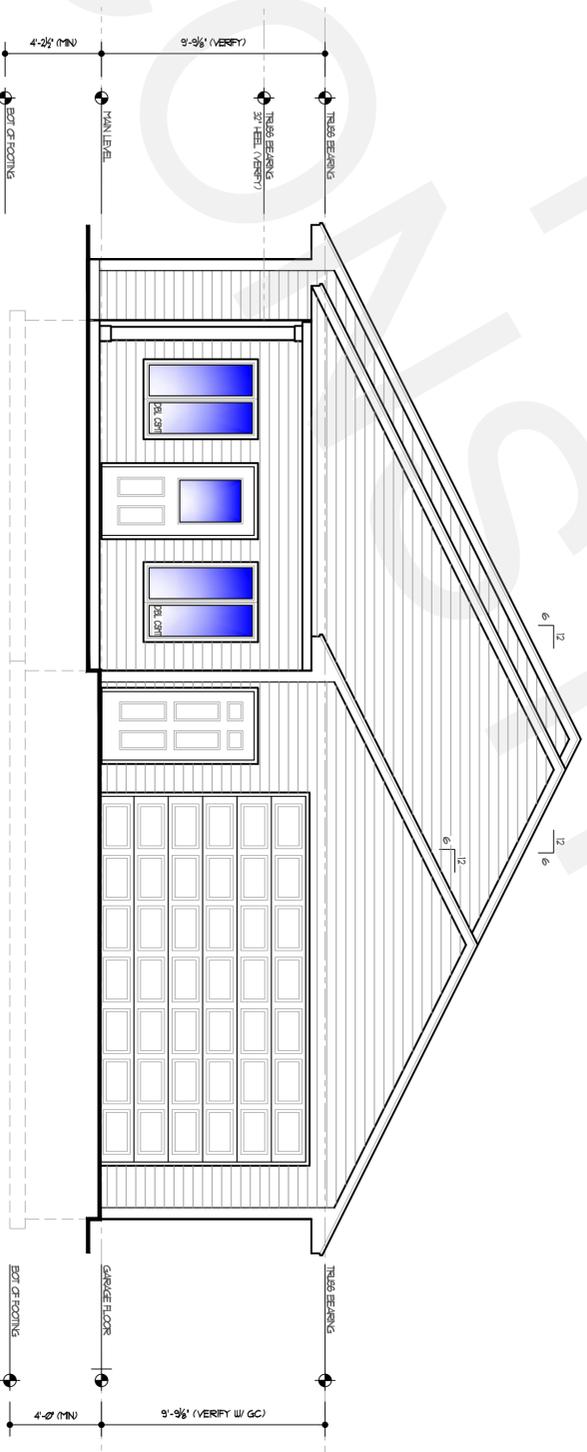
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FRONT & REAR
 EXTERIOR ELEVATIONS
A1.1

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2 SOUTH (LEFT) ELEV
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 SCALE: HALF SCALE (11" x 17")



1 NORTH (RIGHT) ELEV
 SCALE: 1/4"=1'-0" (22" x 34")
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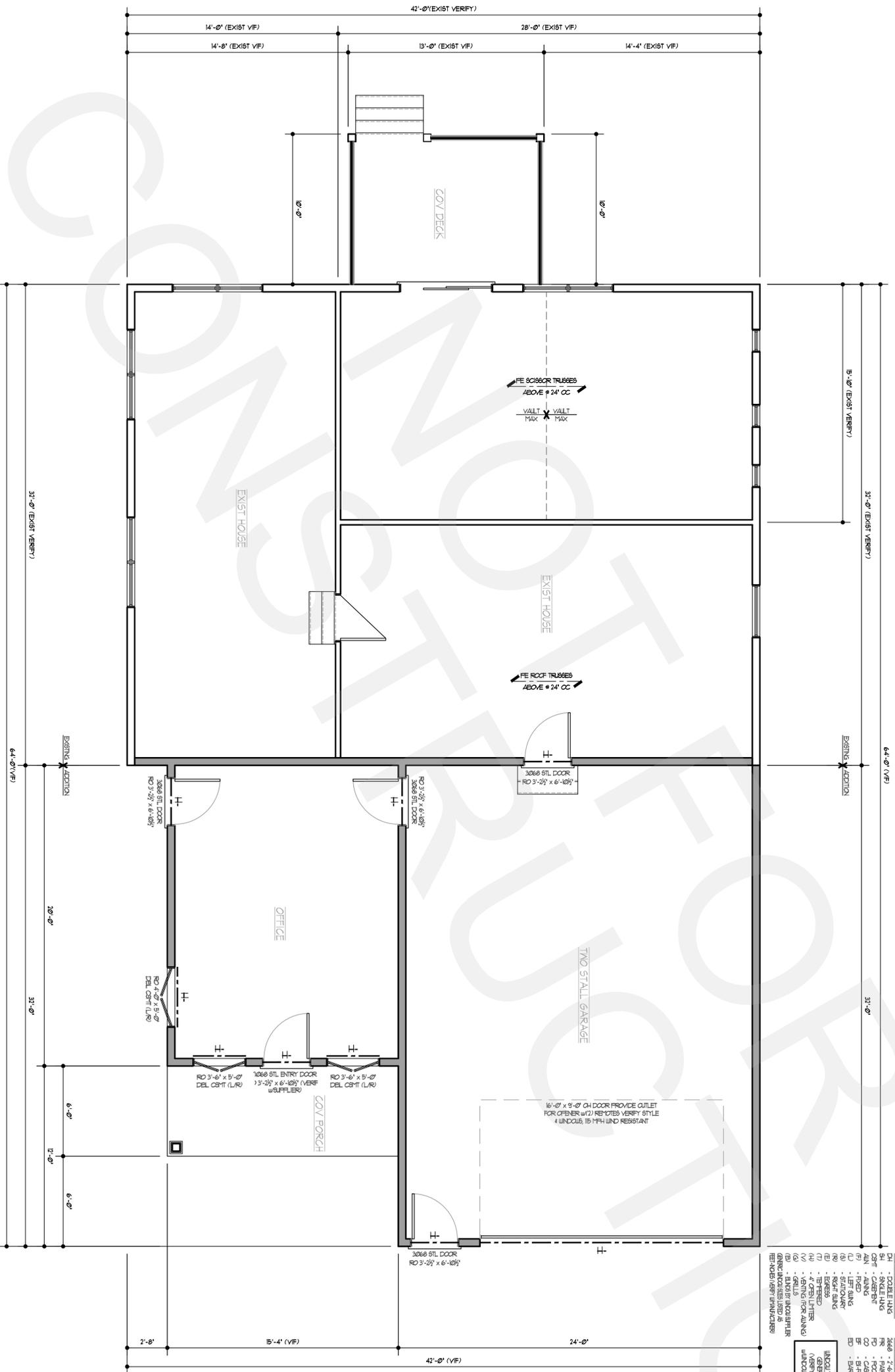
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RIGHT & LEFT
 EXTERIOR ELEVATIONS

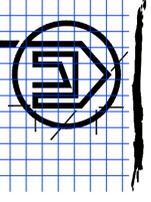
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- WINDOW ABBREVIATIONS:
 DW - DOUBLE WINDOW
 SH - SINGLE WINDOW
 AN - ANGLE
 AL - ALING
 FJ - FINISHED
 (L) - LEFT SILING
 (R) - RIGHT SILING
 (E) - EGRESS
 (T) - TYPED
 (V) - VENTING FOR ALING
 (G) - EQUALS WINDOW HEADER
 (B) - EXISTING WINDOW HEADER
 (DEL) - REMOVE WINDOW HEADER
- DOOR ABBREVIATIONS:
 2668 - 2'-6" x 6'-0"
 PR - PINE
 CO - CEDAR
 BF - BIRCH DOOR
 ED - EXISTING DOOR
- UNDOOR/OUTLET:
 (V) - VENTING FOR ALING
 (G) - EQUALS WINDOW HEADER
 (B) - EXISTING WINDOW HEADER
 (DEL) - REMOVE WINDOW HEADER

MAIN LEVEL PLAN
 SCALE: 1/4"=1'-0" (23" x 34")
 SCALE: HALF SCALE (11" x 17")
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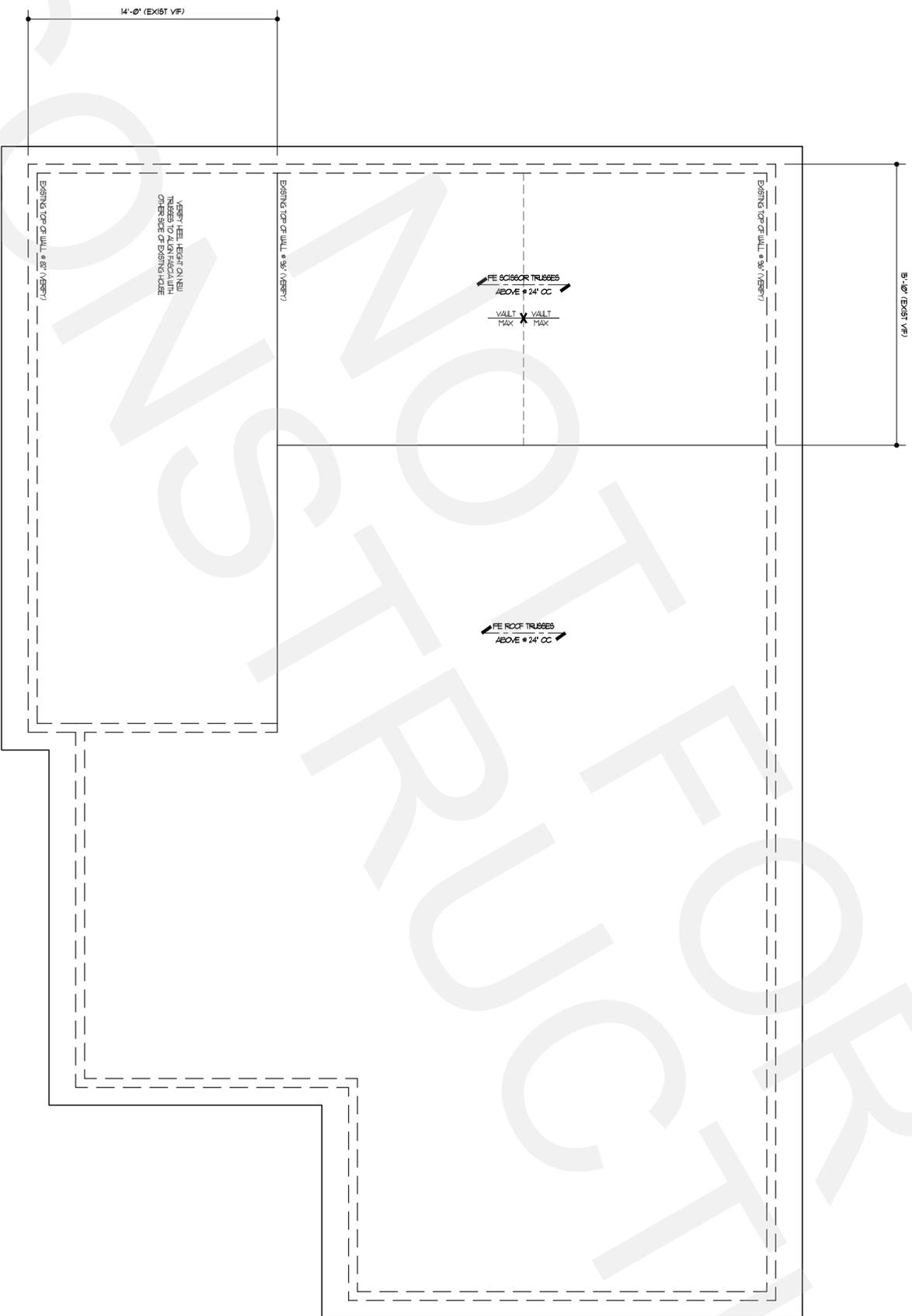
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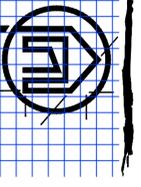
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MAIN LEVEL
 FLOOR PLAN
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A3.2

